



**SANDY SPRINGS**  
GEORGIA

**P&Z STAFF REPORT**

Board of Appeals Meeting, December 10, 2019

Case: **V19-0022 – 0 Glenridge Drive**  
Staff Contact: Madalyn Smith (msmith@sandyspringsga.gov)  
Report Date: December 3, 2019

**REQUEST**

Requests for the following Variances for the purpose of developing a hotel at 0 Glenridge Drive:

1. Variance from Sec. 5.6.4. to reduce the transparency requirements
2. Variance from Sec. 8.1.10.C. to allow a loading dock between the street and the associated building
3. Variance from Sec. 9.4.3.E. to allow a retaining wall to exceed eight (8) feet in height

**APPLICANT**

Property Owner: Glenridge Green Partners LLC (contact: John Hardy)	Petitioner: Glenridge Green Partners LLC (contact: John Hardy)	Representative: N/A
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**SUMMARY**

The applicant requests several Variances for the purpose of developing a hotel (it should be noted that the request for a Variance from Sec. 10.4.3. was withdrawn):

1. Variance from Sec. 5.6.4. to reduce the transparency requirements
2. There is not a compelling reason that would prevent the applicant from meeting the requirements of the Development Code. Staff does not recognize a hardship.
3. Variance from Sec. 8.1.10.C. to allow a loading dock between the street and the associated building

Due to the steep sloping nature of the topography, moving the loading dock to the rear would require extensive engineering in the form of clearing, grading, and ultimately, multiple retaining walls for an additional driveway. Additionally, the necessary wall(s) would likely need to exceed eight (8) feet or encroach into the nearby state waters buffer. Moving the loading dock to the rear would also bring the development closer to the adjacent multi-unit residences, which would not be ideal. It is Staff's opinion that requiring the applicant to provide a loading dock to the rear of the building would impose a hardship on the applicant.

4. Variance from Sec. 9.4.3.E. to allow a retaining wall to exceed eight (8) feet in height

Due to the steep sloping topography, ranging from a 30% slope to 50% slope, and the site's

very narrow layout, proper access requires significant retainage. Retaining walls over eight (8) feet in height are required to be tiered; however, the extreme narrowness of the property makes the use of tiered wall impractical from a development perspective. Therefore, Staff finds that the application of the Development Code would constitute a hardship.

## RECOMMENDATION

### Department of Community Development

Staff recommends:

**Denial** of Variance Request #1 from Sec. 5.6.4.

**Approval** of Variance Request # 2 from Sec. 8.1.10.C.

**Approval** of Variance Request #3 from Sec. 9.4.3.E.

## MATERIALS SUBMITTED AND REVIEWED

### *Materials:*

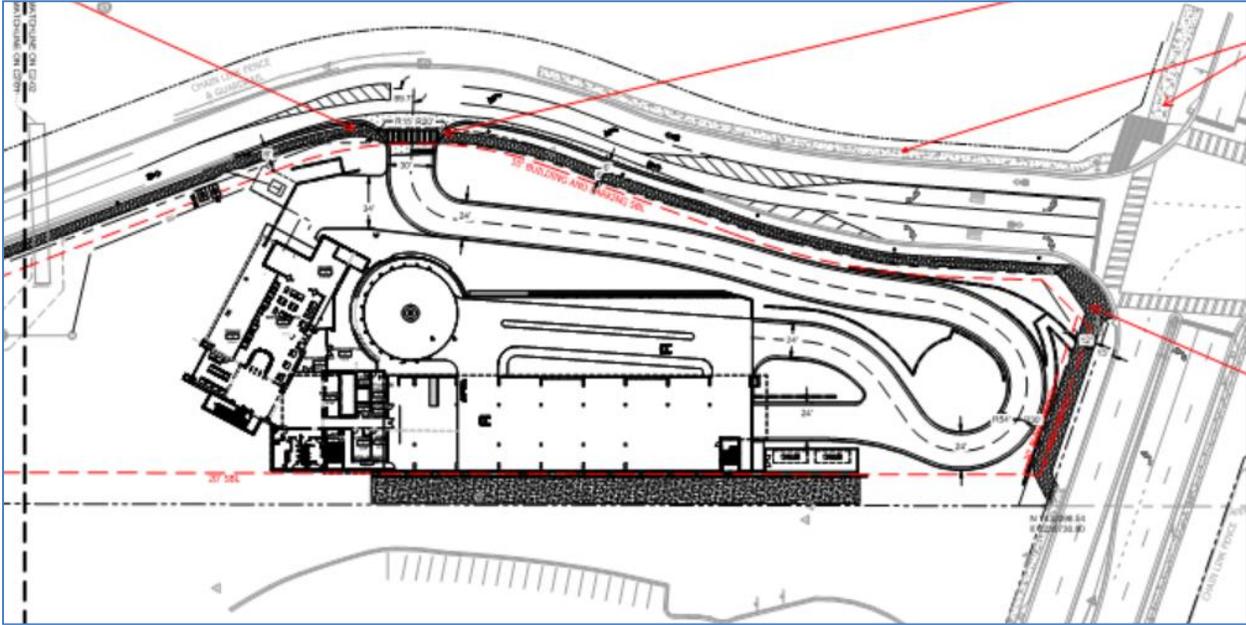
1. Application, received October 28, 2019
2. Application amendments, received November 6, 2019
3. Withdrawal letter, received November 19, 2019

### *Plans:*

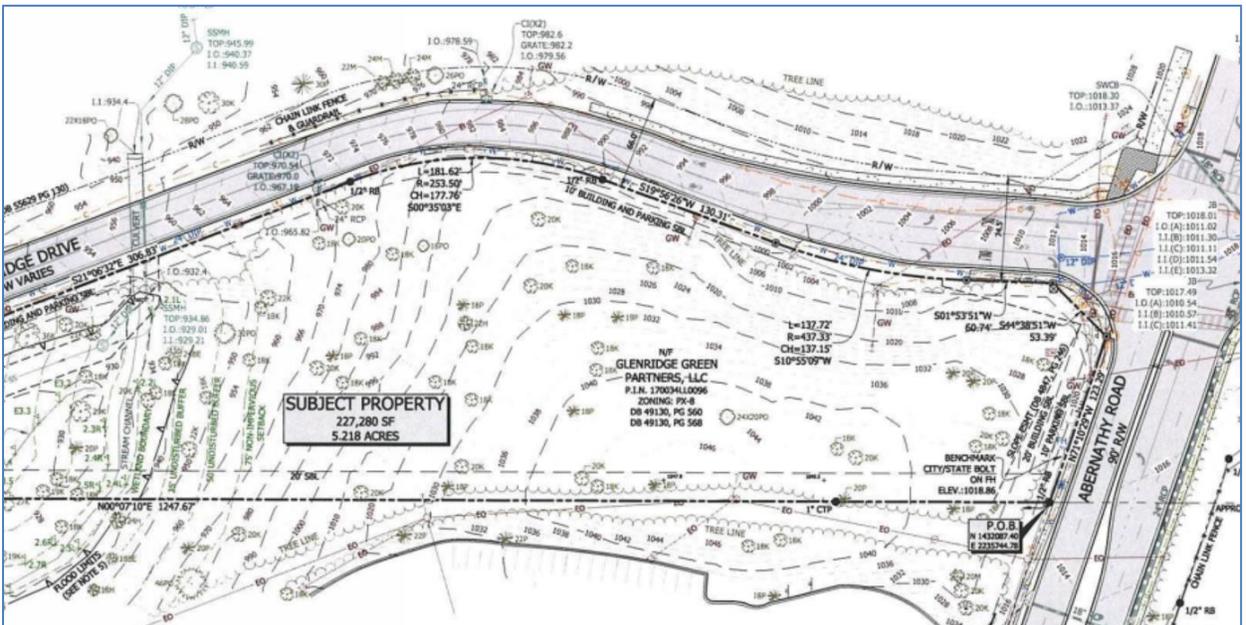
1. “*Mayson House Variance Issuance*,” prepared by Cooper Carry & Kimley Horn, dated October 25, 2019, received October 28, 2019
2. Amendments to “*Mayson House Variance Issuance*,” prepared by Cooper Carry & Kimley Horn, dated October 25, 2019, received November 6, 2019

<b>PROPERTY INFORMATION</b>	
Location:	0 Glenridge Drive (Parcel # 17 0034 LL0096)
Council District:	4 – Reichel
Road frontage:	Approximately 150 feet of frontage on Abernathy Road and Approximately 1400 feet on frontage on Glenridge Drive
Acreage:	Approximately 5.2 acres
Current Zoning:	PX-8 (Perimeter Mixed Use, eight (8) stories maximum height)
Existing Land Use:	Undeveloped
Previous Zoning Cases:	Rezoning Z2000-093 was approved with conditions. Modification M2002-009 was approved with conditions.
Character Area:	Perimeter Center

**SITE PLAN** (received November 6, 2019) (full size Site Plan in Package)



**SURVEY** (received October 28, 2019) (full size Survey in Package)



**PROPOSED DEVELOPMENT**

The applicant proposes to develop this site with a 200,000 square foot, 242-room hotel that would contain guest rooms, meeting space, dining options, and a parking garage. The shape of the property is very narrow, ranging from 150- 200 feet in width. The topography of this site slopes up from Abernathy Road and Glenridge Drive to the crest of a hill. The building would be situated on the crest of the hill and the front half of the property. The applicant also proposes to utilize the back half of the property for a “biergarten.” The rear of the property has significant hydrological challenges that necessitate additional Variance requests but are separate from this request.



Sloping topography shown from the corner of Abernathy Road and Glenridge Drive (photo from Google Street View)



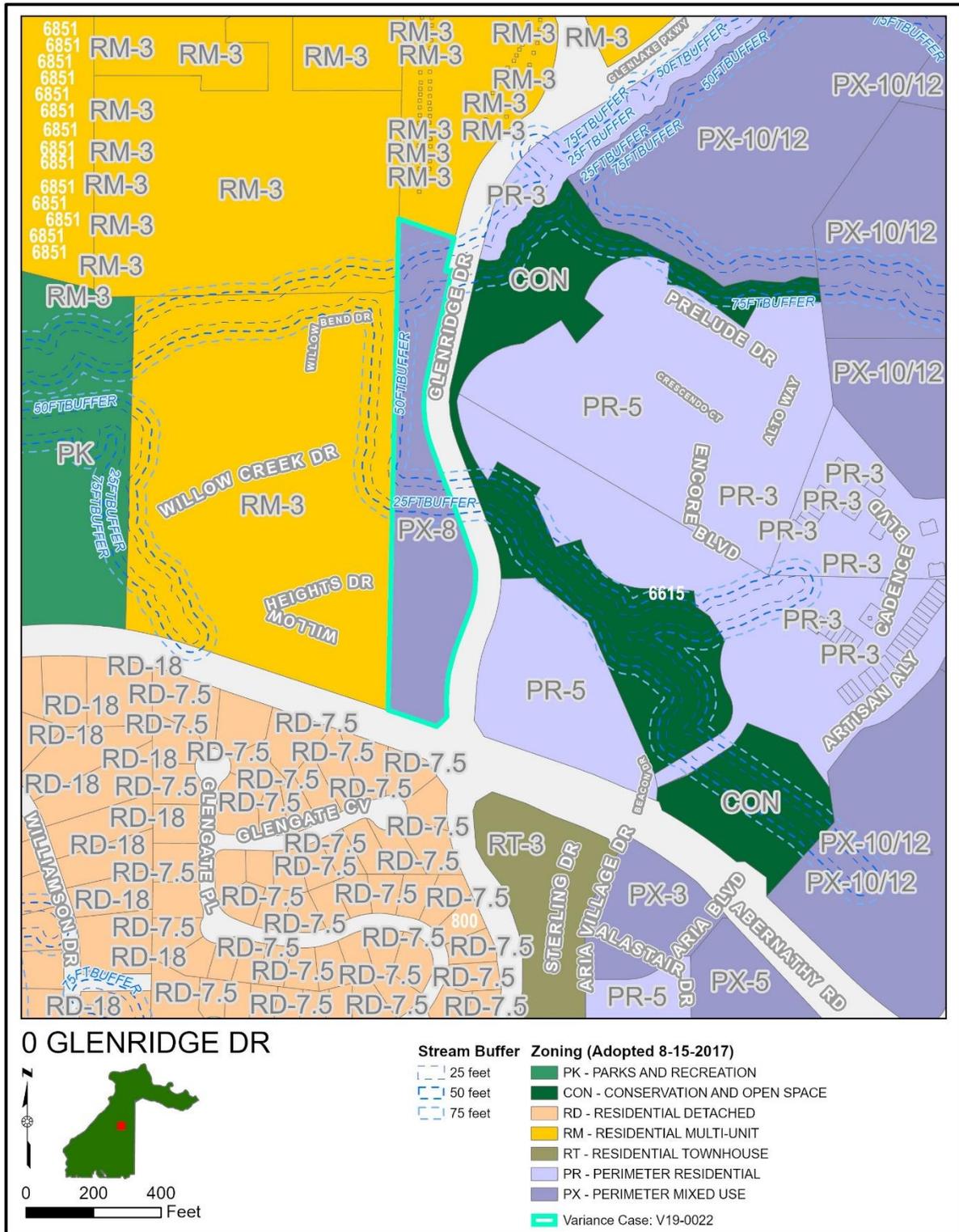
Sloping topography shown along Glenridge Drive (photo from Google Street View)

<b>EXISTING ZONING AND LAND USES OF PROPERTY IN THE VICINITY</b>			
<b>Location relative to subject property</b>	<b>Zoning / Land use</b>	<b>Address(es)</b>	<b>Land area (acres) (approximate)</b>
North	RM-3 / Multi-unit residential	6800 Glenridge Drive	10
East	PR-5 / Mixed use	6615 Glenridge Drive	60
South	RD-7.5 / Single unit detached residences	560 Glengate Cove	0.3
West	RM-3 / Multi-unit residential	550 Abernathy Road	20
<b>PROPOSED DEVELOPMENT</b>			
--	PX-8 / Hotel	0 Glenridge Drive	5.2

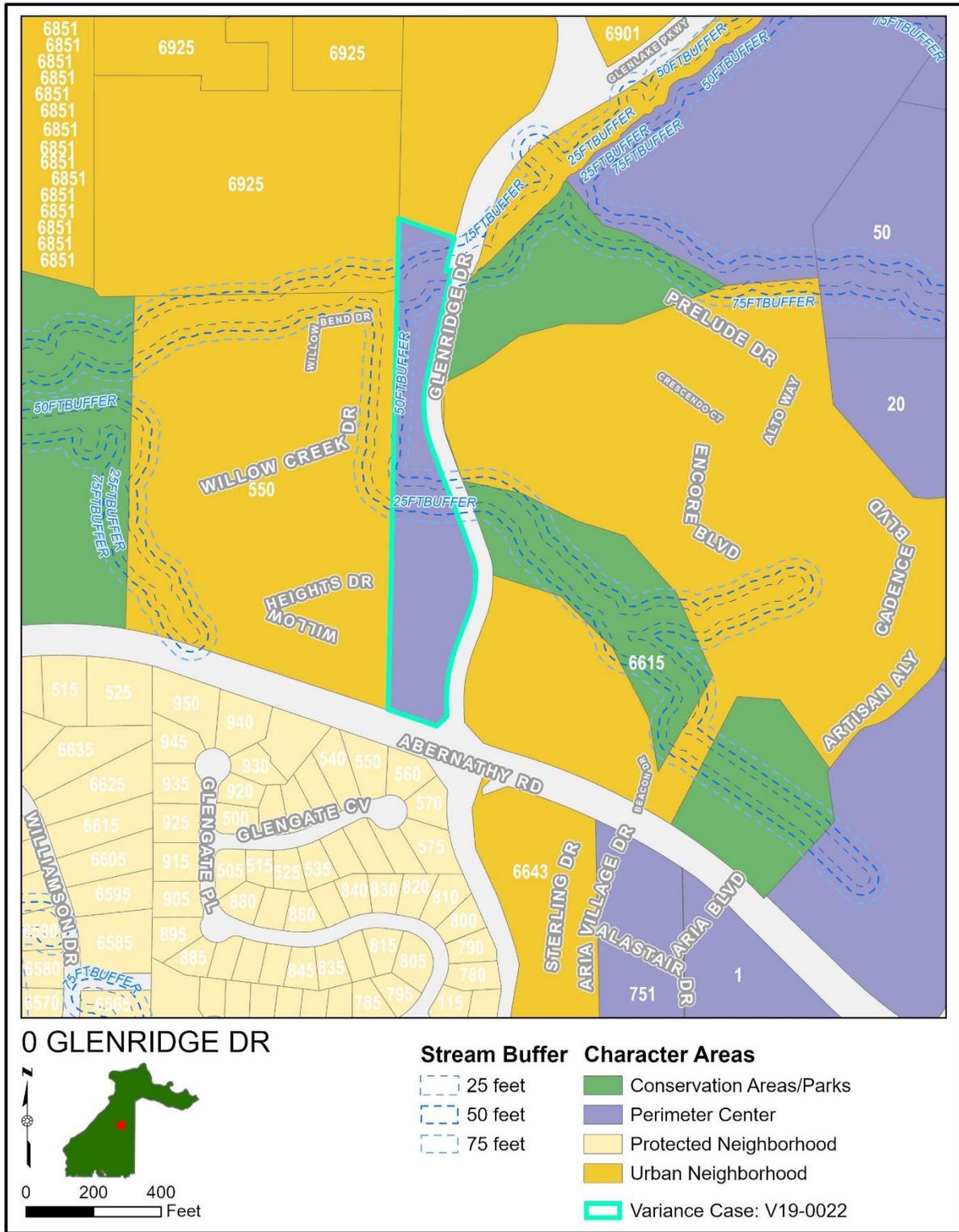
**AERIAL IMAGE**



**ZONING MAP**



**CHARACTER AREA MAP**



## VARIANCE CONSIDERATIONS

Per Sec. 11.3.6.G. of the Development Code, the following list of approval criteria for a Variance provides guidance for making decisions on approval:

1. *Variations will only be granted upon showing that:*
  - a. *The application of this Development Code would create an unnecessary hardship, and not merely an inconvenience to the applicant; or*
  - b. *There are extraordinary and exceptional conditions due to the size, shape, or topography, which are specific to the subject property and not generally found in similar properties;*

### **First Request: Variance from Sec. 5.6.4. to reduce the transparency requirements**

The applicant wishes to have the transparency requirements reduced for a northeastern portion of the hotel, facing Glenridge Drive. This portion of the building is proposed to be approximately four (4) stories and 63' feet in height, and would primarily be the screening an elevator and stairway, near the loading dock and other service area apparatus. While inconvenient to the applicant, there is not a compelling hardship preventing the applicant from providing the proper amount of transparency. In the absence of a hardship, Staff cannot recommend approval of this request.

### **Second Request: Variance from Sec. 8.1.10.C. to allow a loading dock between the street and the associated building**

There are extraordinary and exceptional conditions due to the shape and topography of the site. While the lot is fairly large at 5.2 acres, it is only around 200 feet wide. Much of it is unbuildable due to the presence of state waters, floodplain, and wetlands. The portion that is buildable, is a large, steep hill. The narrowness of the property and the topography limit the options for placement of the loading dock. Adherence to this section of the Development Code would require the loading dock to be placed to the rear of the building, which would not eliminate a Variance request because accessing the rear would require the construction of retaining walls ranging from 10-20 feet in height. The retaining walls would require a Variance from either the height limitation of 8 feet, or if the wall is tiered it would require a Stream Buffer Variance. As noted by the City architect, it would also put the loading dock activities adjacent to residential uses. The applicant proposes to locate the loading dock in the most logical place on the site. Therefore, staff recognizes a hardship.

### **Third Request: Variance from Sec. 9.4.3.E. to allow a retaining wall to exceed eight (8) feet in height**

As stated above, there are extraordinary and exceptional conditions due to the shape and topography of the site. The topography of the site is extreme, and the lot shape is narrow. The Development Code requires retaining walls over eight (8) feet in height to be tiered, with each tier separated horizontally by four (4) feet. The proposed wall is 33 feet tall. The narrowness of the property would severely limit the development of the site if the wall had to be tiered for every 8 feet in height, thus creating a hardship and necessitating the Variance request.

2. *Further, the application must demonstrate that:*
  - a. *Such conditions are not the result of action or inaction of the current property owner; and*

### **All Requests:**

The site is currently undeveloped, and the conditions are not the result of action or inaction of the property owner.

*b. The Variance request would provide the minimum relief necessary to make possible the reasonable use of the property; and*

**First Request: Variance from Sec. 5.6.4. to reduce the transparency requirements**

The applicant requests an exception to the transparency requirements only where there are the proposed service areas. As described by the City architect, glazing the stairwells and elevator shafts would be something minor that can done to meet the requirements of the Code. Staff does not see a hardship and thus does not believe there would be a minimum relief available.

**Second Request: Variance from Sec. 8.1.10.C. to allow a loading dock between the street and the associated building**

Staff believes this request is the minimum relief necessary as it does not believe there to be a more viable, or better location for the necessary loading dock on the site.

**Third Request: Variance from Sec. 9.4.3.E. to allow a retaining wall to exceed eight (8) feet in height**

The retaining wall is 33 feet tall out of necessity. Without the retaining wall, access to the site is not possible. For this reason, Staff finds the request to be the minimum relief necessary.

*c. The Variance request would result in development that is consistent with the general intent of this Development Code, with the Comprehensive Plan policies, and would not be detrimental to the public good, safety and welfare.*

**All Requests:**

The granting of any of the requested Variances would still result in development consistent with the intent of the Development Code. The first request, a Variance from transparency requirements, would not differ from the intent of the Development Code because the façade will not be highly visible to the public due to the topography and placement of the building. The second and third requests, to allow a loading dock between the street and the associated building and a retaining wall to exceed eight (8) feet, would be necessary in order for the applicant to maximize preservation of the natural landscape and minimize impact to the site, which is consistent with “Ensuring conservation of land and natural resources” (Sec. 1.1.5. of the Development Code).

**COMMENTS FROM OTHER PARTIES**

**Sandy Springs Transportation Engineer:**

The required roadway section on Glenridge Drive, per the Technical Manual, is as follows FROM BACK OF CURB:  
6' Landscape Strip  
8' Bike Path

6' Sidewalk  
1' Maintenance Strip

Any development along this corridor should be required to dedicate, at no cost to the City, a minimum of 21' of Right of Way from the existing back of curb and any necessary temporary construction and slope easements to construct potential City-funded projects along this corridor.

**Sandy Springs City Engineer:**

The Project's Stormwater Management should be in accordance with the 2016 Edition of the Georgia Stormwater Management Manual.

**Sandy Springs Architect:**

Variance requests 1, 2 and 3 appear to be quite valid. The site is both dimensionally and topographically challenging. The solution the architects offer does make a significant effort to accomplish one of the City's major site development goals: minimizing alterations of natural topography and eliminating mass grading. There is nearly fifty feet of rise from the Glenridge Drive entrance to the hotel's motor court.

Given the amount of rise on the site and its narrowness, the heights of the retaining walls seem inevitable, if our primary goal is to have developments work with their sites' natural topography. The wall height provision is a generally valid one from both an aesthetic and environmental points of view. However, in this case, just as with many mountain roads, the taller retaining walls, properly treated, seem both inevitable and natural.

On levels 1-G4 the blank wall facing Glenridge encloses stair and elevator shafts, the exterior wall of both the stair and elevator shaft could be glazed. Each would add around 100 sf of glazing per level or about 30%. The stair appears to end at level G1, not continuing to level 1. At that level the space is part of a kitchen, which may not be appropriate to be glazed however level 1 already meets the code's requirement. The Transparency provisions in our code stem from the goal of activating pedestrian-oriented streets by connecting pedestrians visually to the activities within street-fronting buildings and having those buildings to appear accessible and lively. Glazing the stair, the elevator or both should have an animating effect on that elevation.

The location and orientation of the loading dock also seems to be the only practical solution. The alternative location appears to create much more site disturbance, create difficult access issues and put the loading dock activities directly adjacent to a residential use.

**Sandy Springs Arborist:**

Concerning the retaining wall height, the retaining walls seem necessary based on the topography of the site; however, the applicant should show a diverse landscape plan to be installed to help block the sight of the walls as much as possible.

**Sandy Springs Sustainability Manager:**

Walls that would not meet the transparency requirements should be screened from pedestrian view with landscaping. I suggest using a variety of species, including deciduous ones, to maintain the aesthetics of the surrounding natural forest. The typical "wall" of evergreens would stand out too much.

**Correspondence Received:**

No public comment was submitted in writing.

**DEPARTMENT OF COMMUNITY DEVELOPMENT RECOMMENDATION**

Following review, and based on the findings, Staff recommends:

**Denial** of Variance V19-0022, Request #1, from Sec. 5.6.4.

Should the Board of Appeals choose to approve the request, Staff recommends the following condition:

1. The deficiency in transparency be substantially similar to that shown on the “*Mayson House Variance Issuance*” plans received October 28, 2019 and subsequent amendments received November 6, 2019.

**Approval** of Variance V19-0022, Request # 2, from Sec. 8.1.10.C., subject to the following condition:

1. The location of the loading dock be substantially similar to that shown on the “*Mayson House Variance Issuance*” plans received October 28, 2019 and subsequent amendments received November 6, 2019.

**Approval** of Variance V19-0022, Request #3, from Sec. 9.4.3.E., subject to the following condition:

1. The height of the retaining wall be substantially similar to that shown on the “*Mayson House Variance Issuance*” plans received October 28, 2019 and subsequent amendments received November 6, 2019.



November 5, 2019

Ms. Madalyn Smith  
City of Sandy Springs  
1 Galambos Way  
Sandy Springs, GA 30328

RECEIVED

NOV 06 2019

City of Sandy Springs  
Community Development

Re: Mayson House Variance Submittal Update

Dear Ms. Smith:

Enclosed please find an updated Letter of Intent, narratives and the following graphic documents for our variance requests for the proposed Mayson House Hotel development:

1. Sidewalk – Driveway:
  - a. Drawing AA1.15.0 – New
  - b. Drawing C2.00 – Revised
2. DC-5.6.2 Plans – Transparency:
  - a. Drawing AA1.2B – Revised
3. DC-8.1.10.C.3 Plans – Loading Dock:
  - a. Drawing AA1.19A – Revised
  - b. Drawing AA1.19B – Revised
4. DC-9.4.3 Plans – Retaining Walls
  - a. Drawing C3.00 – Revised

Please substitute the above drawings for the ones provided to you on October 28<sup>th</sup>. In addition, please delete all drawings related to DC-6.1.2.A, Building Placement. Per your directive this variance request will be included in our future stream buffer variance application.

Finally, included is a check for \$900 as payment of fees for these requests. Please return the check previously submitted.

Sincerely,

Peter K. Speth  
Sr. Project Director

cc John Hardy



RECEIVED

OCT 28 2019

City of Sandy Springs  
Community Development

# VARIANCE APPLICATION

(Excludes Stream Buffer Variances)

**Application checklist:**

Page No.	Item	Completed/ Included in Submittal
1	Project Information Sheet	<input checked="" type="checkbox"/>
2 - 3	Detailed Process and Instructions	N/A
4 - 5	Authorization Forms	<input checked="" type="checkbox"/>
	Additional requirements:	
6	Letter of Intent	<input checked="" type="checkbox"/>
6 - 7	Variance Analysis	<input checked="" type="checkbox"/>
7	Chattahoochee River Corridor Certificate	<input type="checkbox"/> or N/A <input checked="" type="checkbox"/>
7 - 8	Survey, Site Plan and Legal Description	<input type="checkbox"/>
9	Fee schedule	N/A
9	Meeting schedule	N/A

*MS*

**Provide also:**

All the documents electronically (CD/DVD, thumb drive or via email) Note: The Legal Description must be in a Word document	<input type="checkbox"/>
Site plan: one (1) copy on 11"x17" and two (2) full-scale copies	<input type="checkbox"/>

The Director reserves the right to request additional information deemed necessary to analyze the request. Incomplete applications will not be accepted.

Planner's initials: *MS*

RECEIVED

OCT 28 2019



SANDY SPRINGS™

GEORGIA

City of Sandy Springs  
Community Development

Case No.: V19-0022  
Planner's initials: me

PROJECT INFORMATION SHEET

PROPERTY	Address(es): 700 Abernathy Road at Glenridge Drive	
	Parcel Tax ID: 17-0034-LL-009-6	
	Land Lot(s): 34-17th Land District	Land District(s): 59B - Perimeter CID
	Total acreage: 5.218	Council district: 4
	Current zoning: PX-8	Current use: Undeveloped
	Character area: Perimeter Center	

APPLICATION	Detailed request (include Ordinance/Code Section No.):	
	5.4.2 / 6.1.2-A Building Placement	
	5.6.4-UG / 6.1.4-A Building Transparency	
	8.1.10-C.3 Location of Loading Dock	
	9.4.3-E Height of Retaining Walls	
	10.4.3 Sidewalk Tree Planting Zone	
Petitioner: Glenridge Green Partners LLC <u>John Hardy</u>		
Petitioner's address: c/o The Hardy group, 6085 Barfield Road, Suite 200. Atlanta, Georgia 30328		
Phone: [REDACTED]		

OWNER	Property owner: Glenridge Green Partners LLC	
	Owner's address: c/o The Hardy Group	
	6085 Barfield Road, Suite 200, Atlanta, GA 30328	
	Phone: [REDACTED]	
	Signature (authorizing initiation of the process): <u>John Hardy</u>	
<i>If the property is under contract and the owner is unavailable to sign, provide a copy of the contract</i>		

- TO BE FILLED OUT BY P&Z STAFF -

Pre-application meeting date: <u>10/15/19</u>	Anticipated application date: <u>10/28/19</u>
Anticipated BOA date: <u>12/10/19</u>	
<b>ADDITIONAL INFORMATION NEEDED:</b>	



AUTHORIZATION FORM – PART I

A- The property owner must fill out the following section and have it notarized. If a property has multiple owners, each owner must separately fill out a copy of the authorization form.

Owner states under oath that he/she is the owner of the property described in the attached legal description, which is made part of this application.	
Owner's name: Glenridge Green Partners LLC	Sworn and subscribed before me this <u>25<sup>th</sup></u> day of <u>October</u> 20 <u>19</u>
Address: c/o The Hardy Group 6085 Barfield Road, Suite 200	
City, State, Zip Code: Atlanta, GA 30328	Notary public: <u>Teresa D. Garner</u>
Email address: [REDACTED]	Seal:  Commission expires: <u>6/5/2023</u>
Phone number: [REDACTED]	
Owner's signature: <u>[Signature]</u>	

B- If the applicant is *not* the owner of the subject property:

Fill out the following section, check the appropriate statement, and have it notarized.

Applicant states under oath that:	
<input type="checkbox"/> He/she is the executor or Attorney-in-Fact under a Power-of-Attorney for the owner ( <i>attach a copy of the contract</i> ); or	
<input type="checkbox"/> He/she has an option to purchase the subject property ( <i>attach a copy of the contract</i> ); or	
<input type="checkbox"/> He/she has an estate of years which permits the applicant to apply ( <i>attach a copy of the lease</i> )	
Applicant's name:	Sworn and subscribed before me this
Company name:	
Address:	_____ day of _____ 20 _____
City, State, Zip Code:	Notary public:
Email address:	Seal:
Phone number:	
Applicant's signature:	
Commission expires:	



**Mayson House Hotel  
Variance Application  
Letter of Intent**

November 1, 2019

Glenridge Green Partners LLC is planning the development of a hotel, conference center and entertainment facility on an undeveloped site located on the northwest corner of Abernathy Road and Glenridge Drive in Sandy Springs. The development will consist of the following:

1. Hotel Building:
  - a. This structure will be built on the southern half of the site.
  - b. A total of 160,500 square feet for guestrooms, public areas and support spaces plus an additional 42,600 square feet for parking for a total of a little more than 203,000 square feet.
  - c. The hotel will include 242 guestrooms and suites
  - d. The conference facilities include a total of 6,800 square feet of meeting and event space
  - e. Food and beverage facilities include a signature restaurant, bar and private dining room with approximately 205 interior and exterior seats as well as a rooftop bar with approximately 120 interior and exterior seats.
  - f. A rooftop pool with approximately 60 seats is also being considered.
  - g. The parking garage will accommodate approximately 163 parking spaces, including valet.
  
2. Biergarten:
  - a. A small secondary building is planned for the northern section of the site.
  - b. The proposed building has approximately 1,600 square feet of interior space and will accommodate 72 interior and 52 exterior seats.
  - c. The building is planned as a casual neighborhood gathering place serving food and beverages.

The site for the proposed development is long and narrow, averaging less than 200 feet in width. In addition, the topography varies more than 130 feet in elevation with slopes on portions of the site approaching a 2 to 1 incline. Due to these conditions, we are requesting the following variances:

1. Sections 5.6.4-UG & 6.1.4-A & B: Building Transparency / Blank Walls:  
The narrow site and steep terrain has greatly restricted space planning of the project. These factors necessitated the location of code required stairs, elevators and other service functions on the east side of the building facing Glenridge Drive. No alternate solution was viable that could meet code and adjacency requirements. The ground floor transparency requirement of 50% is met but the upper floors provide 13.8% transparency, less than the 20% requirement. The shortfall in transparency is mitigated by the setback of the facade from the street and variations in planes, volumes and materials.
  
2. Section 8.1.10-C.3: Location of the Loading Dock:  
Options for the location of the loading dock are severely limited by the existing site topography and the established location of the entry point from Glenridge Drive. Alternate locations were dismissed as impractical due to the 2 to 1 slope of the site. The proposed solution mitigates the visibility of the dock by recessing it as far from the street as possible.

3. Section 9.4.3-E: Height of Retaining Walls  
With the existing topography and the point of entry to the site set, the configuration and slope of the entry drive to the building entrance is determined by minimum turning radii and maximum incline requirements for emergency vehicles. Due to these factors the proposed layout is the most efficient achievable and no other alternative layouts were considered. The entry drive requires a retaining wall which begins as an extension of the building at a height of approximately 33 feet and quickly decreases as it extends further from the building.
  
4. Section 10.4.3: Sidewalk Tree Planting Zone  
Glenridge Drive is identified in the Sandy Springs development code as a type A street. However, the roadway is not centered in the right-of-way and therefore the distance from the street centerline to the property line does not meet the required standard. As a result, there is insufficient space to provide a 6-foot sidewalk and 6-foot street tree planting zone at this portion of the site. Providing the designated tree planting zone would require revising the right-of-way. This would impact the Fulton County sewer easement at the bottom of the road embankment or require retaining walls creating a shear drop-off and be a potential safety hazard for pedestrians and vehicles. As the City is considering a multi-use trail along Glenridge Drive, such changes would likely not be compatible with the desired solution..

**Variance Request No. 1**

**Building Activation – Transparency / Blank Walls**

**Development Code Section 5.6.4-UG & Section 6.1.4-A & B**

**Glenridge Drive Low-Rise Elevation**

The design of the hotel building is intended to work in harmony with the existing site contours and take advantage of the difficult but unique topography. The major public areas of the hotel, including the lobby, restaurant and meeting and event space, are oriented with views to the north where the site will remain largely in a natural state.

Service spaces are required to support these public area functions, including the restaurant kitchen, code required exit stair and public and service elevators. The location of these spaces is based on the existing topography and narrowness of the site as well as code requirements and operational adjacencies while maintaining an efficient layout to minimize impact to the site.

Openings in the façade have been maximized where possible. At the ground floor the sum of the wall openings is 555 sq. ft. and the total wall area to the floor line is 1,098 sq. ft. for a 50.5% ratio of openings to total wall area. This meets the 50% criteria for the ground story of Perimeter Center frontages. At the upper stories the combined percentage of openings is 13.8% compared to the requirement of 20%. Windows could be added to this façade but would expose service and functional areas to the street.

To compensate for the shortfall of transparency, the width of this façade has been kept to a minimum and is broken into several planes and volumes, including balcony terraces, as well as a variety of materials following the guidelines of code section 6.1.4-B. This façade is also set back 56 feet from the closest point to the street. By doing so, the design addresses the intent of the code by creating visual interest and avoiding large expanses of unadorned walls. In addition, a proposed water wall and fountain at the entry and lush landscaping along the entry drive will further direct attention of guests entering the site away from this façade.

**Variance Request No. 2**  
**Loading Dock Location**  
**Development Code Section 8.1.10-C.3**

Access to the hotel site is severely limited due to its narrow configuration and approximate 2 to 1 slope of the hillside facing the creek that bisects the site. The entry point to the hotel building is at the apex of the curve of Glenridge Drive, the point of maximum sight distance for safety of ingress and egress, as directed by the City of Sandy Springs. A secondary and separate entrance for service vehicles would need to be too close to the primary entrance and be a safety hazard.

With the access point established, the topography of the site further limits the options for the location of the loading dock. With the designation of Abernathy Road as the primary street, the proposed location is at the rear of the site as specified by the code. Orienting the dock away from Glenridge Drive would be extremely difficult due to the approximate 2 to 1 slope of the site in this area. The proposed design provides the least obtrusive solution as alternatives would require clearing more of the site and extensive retaining walls exceeding the allowable height. Several design elements of the proposed solution are intended to further mitigate the location. First, the dock will have a rolling overhead door to enclose the loading area when not in use; second, this door is recessed over 20 feet from the face of the building to further shield the loading area; and finally, the area will be screened from view from the street with a wall and landscaping.

The loading dock will not be in continuous use. The primary uses for the dock include delivery of food, removal of trash and delivery and removal of fresh and soiled linen and materials used for functions in the event space. Although designed to accommodate a small semi-trailer, most delivery vehicles will consist primarily of panel trucks.

**Variance Request No. 3**  
**Height of Retaining Walls**  
**Development Code Section 9.4.3-E**

Access to the hotel site is severely limited due to its existing narrow configuration and steep topography, approaching a 2 to 1 slope in some areas. The entry point to the site, as directed by the City of Sandy Springs, is at the apex of the curve of Glenridge Drive, the point of maximum sight distance for safety of ingress and egress. From this point at the street there is an elevation change of approximately 50 feet to reach the building entry level. The slope and configuration of the entry drive is dictated by the access of emergency vehicles, including fire trucks. Due to the narrowness of the site and steep topography, retaining structures are required but adequate space is not available to accommodate multiple retaining walls with a maximum height of 8 feet.

The retaining wall facing both Glenridge Drive and Abernathy Road varies from about 1 to 4-1/2 feet in height. The retaining wall supporting the upper portion of the entry drive extends from the building starting at a height of approximately 33 ft. and quickly tapering down as it extends south from the building. This wall is set back a minimum of 50 feet from Glenridge Drive. Geotechnical investigation of the site indicates that there is natural rock in this area. The intent is to use exposed rock where possible and reduce the height of the retaining wall constructed above it to maintain a more natural look. The final determination of this solution will be made when the site is excavated, and the full extent of existing natural rock is known.

All other walls on the site are within the code allowance limitations or are internal to the site and not visible from the surrounding streets.

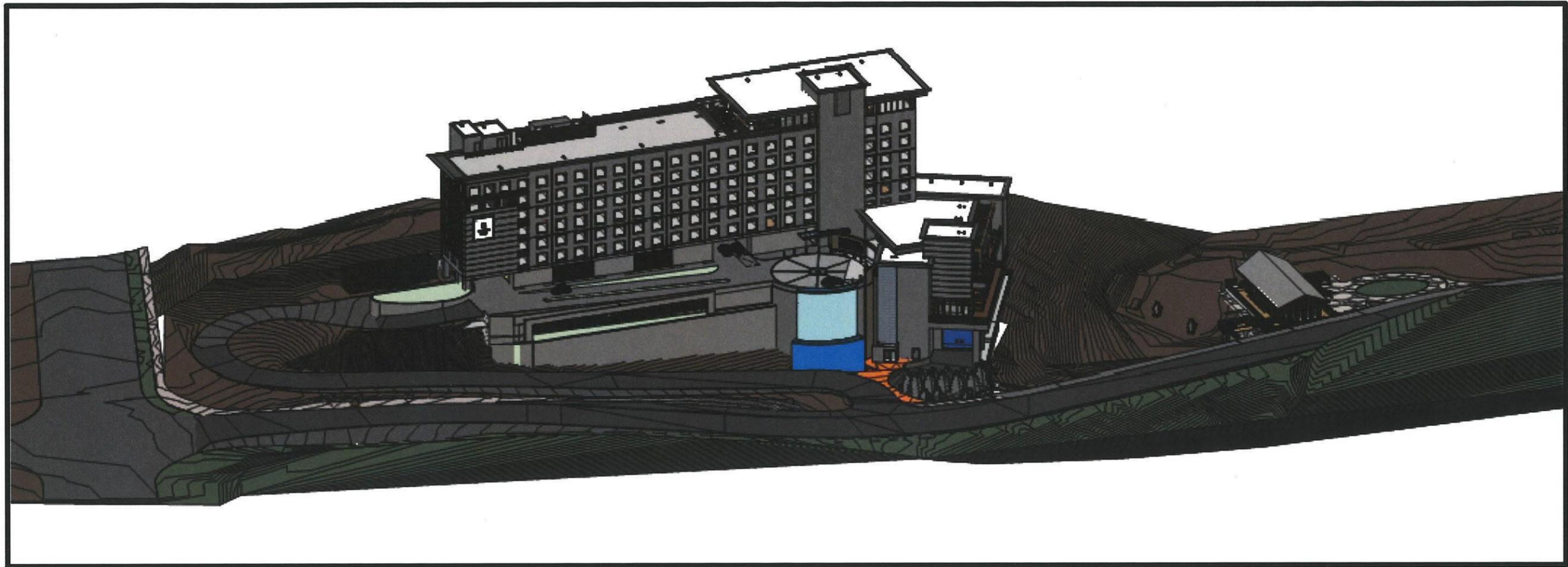
**Variance Request No. 4**  
**Street Standards**  
**Development Code Section 10.4.3**  
**Street Tree Planting Zone – Glenridge Drive**

Glenridge Drive on the eastern edge of the site is designated as a Type A street (two lanes, no parking). Type A streets require a right-of-way of 62 to 86 ft. (31 to 43 ft. from centerline of roadway) to accommodate pavement as well as a 6 to 8 ft. tree planting zone and 6 to 12 ft. sidewalk.

According to our property survey, the current right-of-way is 65 ft. wide; however, the roadway is not centered within the right-of-way. The distance between the roadway centerline and the edge of the property line / right-of way is approximately 25 feet. In addition, north of the stream culvert under Glenridge Drive, there is a steep embankment sloping down from the edge of the right-of-way that varies in height between 6 and 18 feet.

With these existing conditions there is insufficient space to accommodate both the minimum 6 ft. tree planting zone and a minimum 6 ft. sidewalk. Widening the right-of-way would impact the Fulton County sewer easement located at the bottom of the embankment or require a continuous retaining wall to support the sidewalk, creating a sheer drop-off that would be a potential hazard to both pedestrians and vehicles. These alternatives were rejected as being impractical or a potential safety hazard. The potential multi-use trail from the future Marsh Creek Trail to Abernathy Road will require modifications of Glenridge Drive and the proposed solution is consistent with that design intent.

The existing topography is adequate to accommodate up to a 2 ft. landscape strip with a 6 ft. wide sidewalk. This option eliminates the need for retaining walls as well as any potential impact on the Fulton County sewer easement. The existing embankment is maintained and, when heavily landscaped, will present a natural appearance. This solution is also consistent with the sidewalk constructed on the west side of Glenridge Drive as part of the Aria development.



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# MAYSON HOUSE VARIANCE ISSUANCE

Sandy Springs, Georgia  
10.25.2019



Marsh Creek Tributary 5  
FEMA Special  
Flood Hazard Areas

**Legend**

- Stream Centerline
  - - - BFE
  - XS (Letter, 100yr Elev)
  - Fulton Co - 2ft topo
  - Roads
- FEMA Flood Zone**
- FLOODWAY
  - AE,
  - X, 0.2 PCT

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0 50 100  
Feet

Kimley»Horn

Source: Esri,  
DigitalGlobe, GeoEye, IGN, and the GIS User Community

- LEGEND**
- IRON PIN FOUND
  - IRON PIN SET (5/8" REBAR)
  - CALCULATED POINT
  - ⊕ RIGHT OF WAY MONUMENT
  - ⊕ BENCHMARK
  - ⊕ SANITARY SEWER MANHOLE
  - ⊕ CLEAN OUT
  - ⊕ STORM DRAIN MANHOLE
  - ⊕ DROP INLET
  - ⊕ CURB INLET
  - ⊕ ROOF DRAIN
  - ⊕ GAS METER
  - ⊕ GAS VALVE
  - ⊕ WATER METER
  - ⊕ WATER VALVE
  - ⊕ FIRE HYDRANT
  - ⊕ IRRIGATION CONTROL VALVE
  - ⊕ POST INDICATOR VALVE
  - ⊕ ELECTRIC MANHOLE
  - ⊕ ELECTRICAL CONDUIT
  - ⊕ UTILITY POLE
  - ⊕ LIGHT POLE
  - ⊕ TRANSFORMER
  - ⊕ ELECTRIC METER
  - ⊕ PEDESTRIAN CROSSING SIGNAL
  - ⊕ TELEPHONE PEDESTAL
  - ⊕ TRAFFIC CONTROL BOX
  - ⊕ COMMUNICATION VAULT
  - ⊕ CONCRETE TRAFFIC POLE
  - ⊕ BOLLARD
  - ⊕ SIGN (SINGLE POST)
  - ⊕ SIGN (MULTIPLE POSTS)
  - ⊕ UTILITY HANDHOLE
  - ⊕ WETLAND FLAGGING

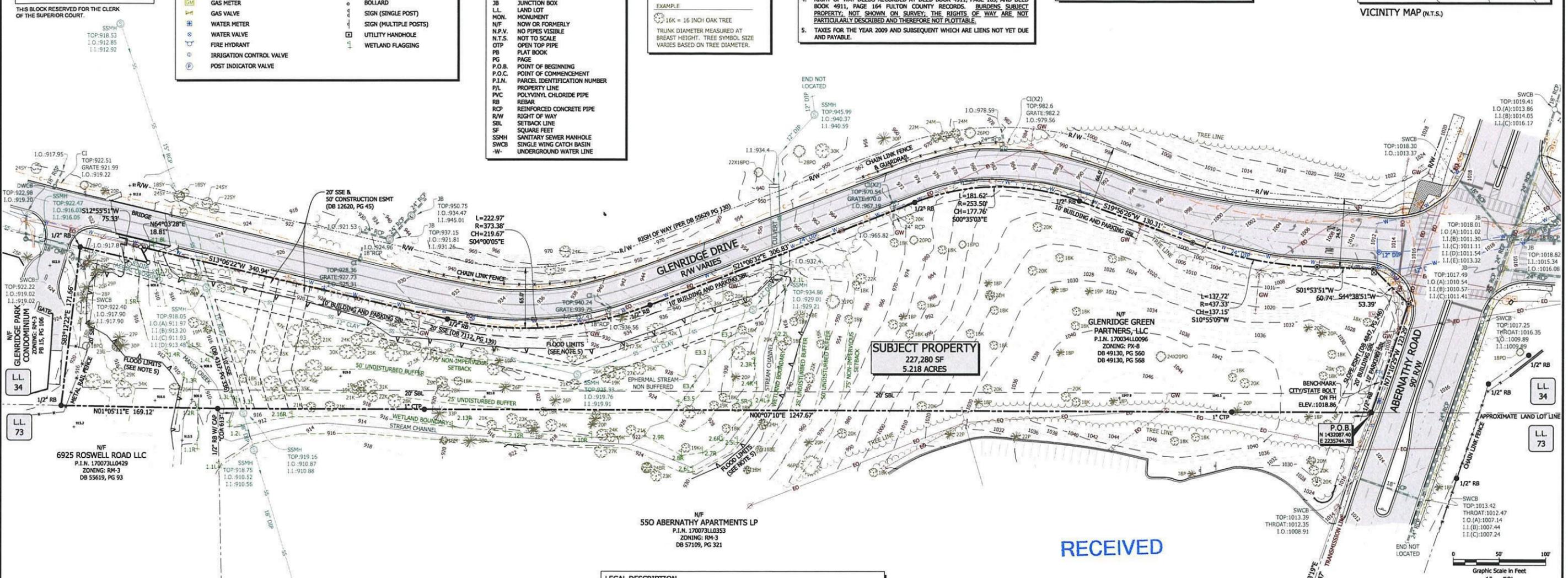
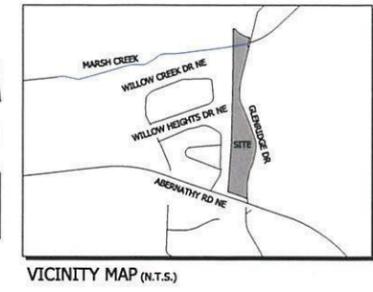
- ABBREVIATIONS**
- BW BOTTOM OF WALL
  - CI CURB INLET
  - CMP CORRUGATED METAL PIPE
  - CONC. CONCRETE
  - CTP CRIMP TOP PIPE
  - DB DEED BOOK
  - DI DROP INLET
  - DIP DUCTILE IRON PIPE
  - DIST. DISTURBED
  - DWCB DOUBLE WING CATCH BASIN
  - EO OVERHEAD ELECTRIC
  - FH FIRE HYDRANT
  - GI UNDERGROUND GAS LINE
  - GW GUY WIRE
  - I.I. INVERT IN
  - I.O. INVERT OUT
  - JB JUNCTION BOX
  - LL LAND LOT
  - MON. MONUMENT
  - N/F NOW OR FORMERLY
  - N.P.V. NO PIPES VISIBLE
  - N.T.S. NOT TO SCALE
  - OTIP OPEN TOP PIPE
  - PB PLAT BOOK
  - PG PAGE
  - P.O.B. POINT OF BEGINNING
  - P.O.C. POINT OF COMMENCEMENT
  - P.I.M. PARCEL IDENTIFICATION NUMBER
  - P/L PROPERTY LINE
  - PVC POLYVINYL CHLORIDE PIPE
  - RB REBAR
  - RCP REINFORCED CONCRETE PIPE
  - R/W RIGHT OF WAY
  - SBL SETBACK LINE
  - SF SQUARE FEET
  - SSMH SANITARY SEWER MANHOLE
  - SWCB SINGLE WING CATCH BASIN
  - UW UNDERGROUND WATER LINE

- TREE LEGEND**
- | SYMBOL | CODE | COMMON NAME |
|--------|------|-------------|
| ⊙      | A    | ASH         |
| ⊙      | BE   | BEECH       |
| ⊙      | H    | HICKORY     |
| ⊙      | M    | MAPLE       |
| ⊙      | K    | OAK         |
| ⊙      | P    | PINE        |
| ⊙      | PO   | POPLAR      |
| ⊙      | SY   | SYCAMORE    |
- EXAMPLE  
 ⊙ 16K = 16 INCH OAK TREE  
 TRUNK DIAMETER MEASURED AT  
 BREAST HEIGHT. TREE SYMBOL SIZE  
 VARIES BASED ON TREE DIAMETER.

- EXCEPTIONS CONTAINED IN SCHEDULE B - SECTION 2 OF LAWYERS TITLE INSURANCE CORPORATION TITLE COMMITMENT EFFECTIVE DATE 07/20/09**
- DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY, CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE EFFECTIVE DATE HEREOF BUT PRIOR TO THE DATE THE PROPOSED INSURED ACQUIRES FOR VALUE OF RECORD OF THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THIS COMMITMENT.
  - PERMITS RECORDED AT DEED BOOK 2867, PAGE 682 AND DEED BOOK 4802, PAGE 173 FULTON COUNTY RECORDS, BURDENS SUBJECT PROPERTY; NOT SHOWN ON SURVEY; EASEMENTS ARE BLANKET IN NATURE AND THEREFORE ARE NOT PLOTTABLE.
  - SEWER EASEMENTS TO FULTON COUNTY, GA. RECORDED AT DEED BOOK 4317, PAGE 336, DEED BOOK 7112, PAGE 138, AND DEED BOOK 12620, PAGE 415 FULTON COUNTY, GEORGIA RECORDS, BURDENS SUBJECT PROPERTY; SHOWN ON SURVEY; THE EASEMENTS ARE SHOWN AND LABELED ACCORDINGLY HEREOF.
  - RIGHT OF WAY DEEDS RECORDED AT DEED BOOK 4911, PAGE 163, AND DEED BOOK 4911, PAGE 164 FULTON COUNTY RECORDS, BURDENS SUBJECT PROPERTY; NOT SHOWN ON SURVEY; THE RIGHTS OF WAY ARE NOT PARTICULARLY DESCRIBED AND THEREFORE NOT PLOTTABLE.
  - TAXES FOR THE YEAR 2009 AND SUBSEQUENT WHICH ARE LIENS NOT YET DUE AND PAYABLE.

**ZONING NOTE:**  
 CITY OF SANDY SPRINGS, GEORGIA  
 CURRENT ZONING: PX-8 PERIMETER MIXED USE

**SEC. 5.3.2 - DIMENSIONAL REQUIREMENTS**  
**BUILDING SETBACKS:**  
 PRIMARY STREET: 10' FOR LOCAL STREETS 20' ALL OTHER STREETS  
 SIDE STREET: 10'  
 REAR: 20'  
**PARKING SETBACKS:**  
 PRIMARY STREET: 10'  
 SIDE STREET: 10'  
 MINIMUM OUTDOOR AMENITY SPACE: 15%  
 MAXIMUM LOT COVERAGE: 85%  
 SOURCE: SANDY SPRINGS, GEORGIA DEVELOPMENT CODE



**GENERAL NOTES:**

- THIS DRAWING WAS CREATED ELECTRONICALLY. THIS MEDIA SHOULD NOT BE CONSIDERED A CERTIFIED DOCUMENT UNLESS IT HAS BEEN PROPERLY SEALED AND ORIGINALLY SIGNED BY A REGISTERED LAND SURVEYOR OF LAND ENGINEERING, INC. AUTHORITY OF O.C.G.A. 43-15-22.
- THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 469,138 FEET. A GEOMAX ZOOM 80 ROBOTIC TOTAL STATION WAS USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS USED IN THE PREPARATION OF THIS PLAT. THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF ONE FOOT IN 61,461 FEET AND AN ANGULAR ERROR OF 2" PER ANGLE POINT AND WAS ADJUSTED USING THE COMPASS RULE METHOD. ALL DISTANCES SHOWN HEREON ARE SURFACE DISTANCES. THE HORIZONTAL DATUM REFERENCED HEREON IS REFERENCED TO THE N.A.D.83, GEORGIA WEST ZONE STATE PLANE COORDINATE SYSTEM. A LEICA GPS900 WAS USED TO PERFORM A NETWORK-ADJUSTED REAL TIME KINEMATICS G.N.S.S. SURVEY REFERENCED TO THE EGPS C.O.R.S. NETWORK.
- THE UNDERGROUND UTILITIES SHOWN ON THIS MAP WERE LOCATED BY ABOVE GROUND APPURTENANCES AND MARKINGS LEFT BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. UNDERGROUND UTILITIES NOT OBSERVED OR LOCATED MAY EXIST ON THIS SITE BUT NOT BE SHOWN, AND MAY BE FOUND UPON EXCAVATION. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- ANY DIMENSIONAL OR OTHER ZONING REQUIREMENTS SHOWN HEREON WERE OBTAINED FROM WWW.MUNICODE.COM AND MAY NOT REFLECT ANY ALTERNATE OR CONDITIONAL REQUIREMENTS APPLICABLE TO THE SUBJECT PROPERTY. THE SURVEYOR DOES NOT CERTIFY TO ANY MATTERS OF ZONING.
- PORTIONS OF THIS PROPERTY ARE LOCATED IN A SPECIAL FLOOD HAZARD AREA, ZONE A, PER F.I.R.M. MAP NUMBER 13121C053F & 13121C0163F, EFFECTIVE DATE SEPTEMBER 18, 2013.

**SURVEYOR'S CERTIFICATION**

This plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated hereon. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

**ALTA/NSPS CERTIFICATION**

To The John Hardy Group:  
 This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(b), 8, 9, 11, 13, 14, 16, 17, 18 & 20 of Table A thereof. The field work was completed on November 21, 2017.  
 Date of Plat or Map: November 27, 2017.

*Brian Douglas*  
 Brian Douglas, Ga. R.L.S. 3373

**LEGAL DESCRIPTION**

All that tract or parcel of land lying and being in Land Lot 34 of the 17th Land District, City of Sandy Springs, Fulton County, Georgia as shown on that certain ALTA/NSPS Land Title Survey prepared for The John Hardy Group, prepared by Land Engineering, Inc., and bearing the seal of Brian J. Douglas, Georgia Registered Land Surveyor Number 3373, and being more particularly described as follows:

BEGINNING at a 1/2" rebar found at the intersection of the westerly line of Land Lot 34 and the northerly right of way of Abernathy Road (having a 90 foot right of way width), said rebar having Georgia West Zone state plane coordinates of Northing: 1432087.40, Easting: 2235744.78. Thence along the westerly line of Land Lot 34 and common boundary line with (now or formerly) 550 Abernathy Apartments, LP North 00 Degrees 07 Minutes 10 Seconds East a distance of 1,247.67 feet to a 1/2" rebar with cap found, said cap inscribed "COA 613"; Thence along the common boundary line with (now or formerly) 6925 Roswell Road LLC North 01 Degrees 05 Minutes 11 Seconds East a distance of 169.12 feet to a 1/2" rebar found; Thence leaving said land lot line along the common boundary with (now or formerly) Glenridge Park Condominium South 83 Degrees 12 Minutes 22 Seconds East a distance of 171.66 feet to a 1/2" rebar found on the westerly right of way of Glenridge Drive (having a variable width right of way); Thence along said right of way South 12 Degrees 55 Minutes 51 Seconds West a distance of 75.33 feet to a point; Thence North 64 Degrees 03 Minutes 28 Seconds East a distance of 18.81 feet to a point; Thence South 13 Degrees 06 Minutes 22 Seconds West a distance of 340.94 feet to a 1/2" rebar found; Thence along a curve to the left having a radius of 373.38 feet and an arc length of 222.97 feet, being subtended by a chord South 04 Degrees 00 Minutes 05 Seconds East for a distance of 219.67 feet to a 1/2" rebar found; Thence South 21 Degrees 06 Minutes 32 Seconds East a distance of 306.83 feet to a 1/2" rebar found; Thence along a curve to the right having a radius of 253.50 feet and an arc length of 181.62 feet, being subtended by a chord South 05 Degrees 35 Minutes 03 Seconds East for a distance of 177.76 feet to a 1/2" rebar found; Thence South 19 Degrees 56 Minutes 26 Seconds West a distance of 130.31 feet to a 5/8" rebar with cap set; Thence along a curve to the left having a radius of 437.33 feet and an arc length of 137.72 feet, being subtended by a chord South 10 Degrees 55 Minutes 09 Seconds West for a distance of 137.15 feet to a 5/8" rebar with cap set; Thence South 01 Degree 53 Minutes 51 Seconds West a distance of 60.74 feet to a nail set in concrete at the northerly end of the mitered intersection of the westerly right of way of Glenridge Drive and the aforesaid northerly right of way of Abernathy Road; Thence South 44 Degrees 58 Minutes 51 Seconds West a distance of 53.39 feet to a nail set in concrete on the southerly end of said mitered right of way intersection; Thence along the northerly right of way of Abernathy Road North 71 Degrees 10 Minutes 29 Seconds West a distance of 123.29 feet to a 1/2" rebar found; said rebar also being the POINT OF BEGINNING.

Said property contains 227,280 square feet or 5.218 acres more or less.

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REVISION / ISSUE NO.	DATE	DESCRIPTION
0	11-21-17	DATE OF FIELD SURVEY
1	4-5-18	ADDRESS ENVIRONMENTAL COMMENTS
2	5-23-19	UPDATE ROADWAY STRIPING AND RIGHT OF WAY

PREPARED BY:  
  
**LAND ENGINEERING**  
 1801 S Zack Hinton Parkway  
 McDonough, Georgia 30253  
 www.landengineering.com  
 678.814.4346  
 GA LSF #0946

**ALTA / NSPS Land Title Survey**

Prepared for:  
**The John Hardy Group**

**GLENRIDGE GREEN**  
 Land Lot 34, 17th Land District,  
 City of Sandy Springs, Fulton County, Georgia

DRAWN BY: MEW	OID BY: BJD	SCALE: 1" = 20'	SHEET: 1
PROJ. NO.:	DATE:	ONE INCH AT FULL SCALE	TOTAL SHEETS: 1
1078-001	NOVEMBER 27, 2017		

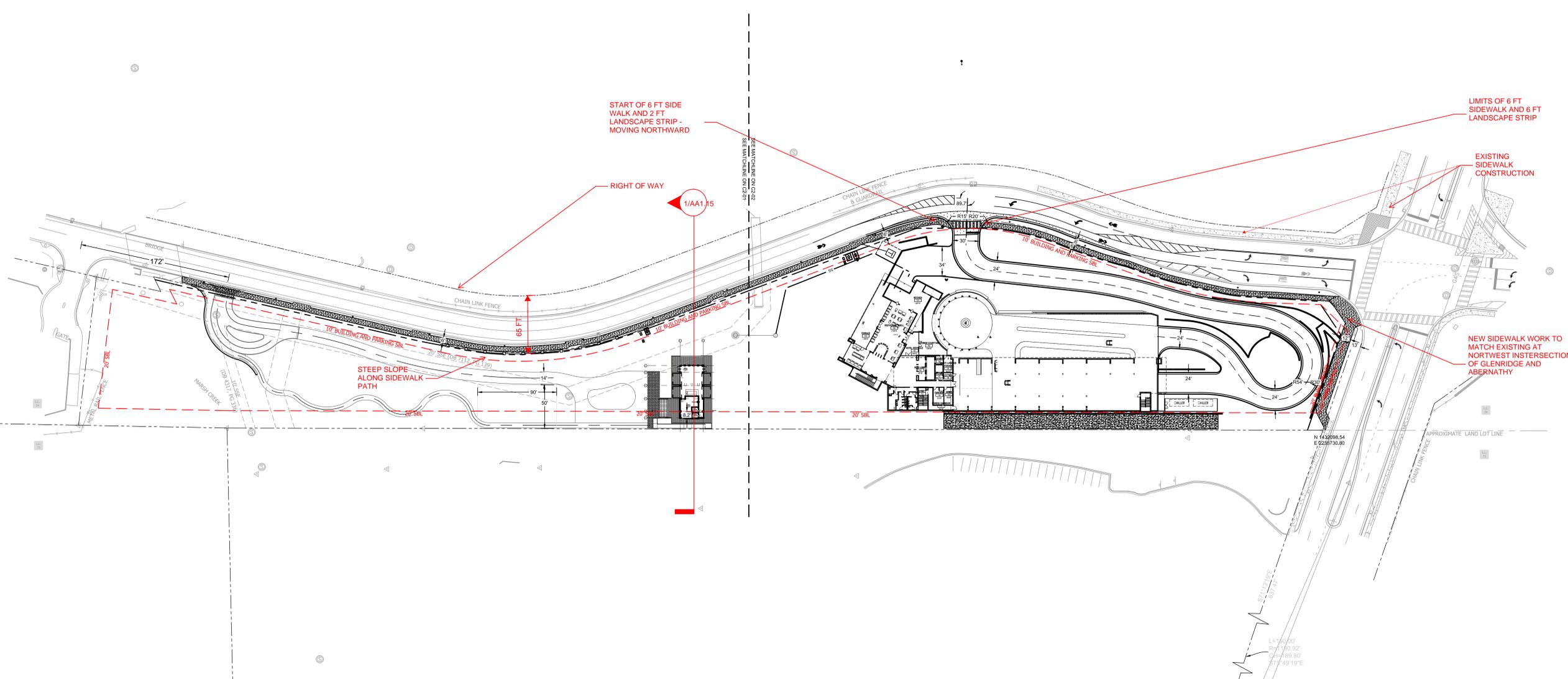
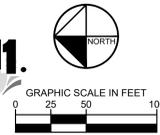
**SITE NOTES:**

1. THE PROPOSED BUILDING INFORMATION SHOWN HEREON IS FROM AN ELECTRONIC FILE PROVIDED BY COOPER CARRY, DATED 07/26/2019 AND IS FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING INFORMATION.
2. EXISTING CONDITIONS SHOWN HEREON ARE FROM A SURVEY FILE PROVIDED BY LAND ENGINEERING, DATED 11/27/2017.
3. ALL DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
4. SIDEWALK INSTALLED AGAINST BACK OF CURB SHALL BE INSTALLED PER THE PLAN AS MEASURED FROM THE BACK OF CURB.
5. ALL SIGNAGE AND STRIPING MUST MEET THE LATEST REQUIREMENTS SET FORTH BY MUTCD, GDOT, AND GEORGIA STATE CODE.
6. REFERENCE LANDSCAPE PLANS FOR ALL HARDSCAPE AND LANDSCAPE DETAILS AND SPECIFICATIONS.

**SITE PLAN LEGEND:**

- PROPERTY LINE
- BUILDING SETBACK LINE
- LANDSCAPE BUFFER LINE
- STANDARD DUTY ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- STANDARD DUTY CONCRETE SIDEWALK
- HEAVY DUTY CONCRETE PAVEMENT
- (10) PARKING COUNT

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3800 EAST JONES BRIDGE ROAD  
NORCROSS, GA 30092  
PHONE (770) 825-0744  
WWW.KIMLEY-HORN.COM

**COOPER CARRY**  
191 PEACHTREE STREET NE  
SUITE 2400  
ATLANTA, GA 30303-1770  
404.537.2000

PREPARED FOR

No.	DATE	BY	DESCRIPTION
1	07/26/2019	TAD	SCHEMATIC DESIGN
2	09/02/2019	TAD	DESIGN DEVELOPMENT

**MAYSON HOUSE**  
700 ABERNATHY ROAD  
SANDY SPRINGS, GEORGIA 30328  
LAND LOT 34, 17 DISTRICT

PROJECT

**PRELIMINARY**  
NOT FOR CONSTRUCTION

GRWCC CERT. (LEVEL 1)	76490
DRAWN BY	KHA
DESIGNED BY	TAD
REVIEWED BY	BLH
DATE	07/26/2019
PROJECT NO.	019754013
TITLE	<b>SITE PLAN - OVERALL</b>
SHEET NUMBER	<b>C2.00</b>

GRADING & DRAINAGE NOTES:

- SITE AREA: 5.00 ACRES  
DISTURBED AREA: 2.1 ACRES
- CRITICAL SPOT GRADES ARE TO PAVEMENT GRADE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL CONSTRUCT ALL SIDEWALKS AND CROSSWALKS WITH A 2.0% MAXIMUM CROSS SLOPE AND A 5.0% MAXIMUM RUNNING SLOPE UNLESS NOTED AS A RAMP. GRADES WITHIN ADA HANDICAP PARKING AREAS NOT TO EXCEED A 2% MAXIMUM SLOPE IN ANY DIRECTION.
- ALL ROOF DRAIN PIPING SHALL BE PVC UNLESS OTHERWISE NOTED.
- ALL ROOF DRAIN CLEANOUTS IN PAVED AREAS SHALL HAVE A BRASS CAP SET FLUSH WITH THE PROPOSED GRADE.
- ALL PIPE LENGTHS SPECIFIED IN THESE PLANS ARE THE HORIZONTAL DISTANCE AND ARE SHOWN FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE ACTUAL LENGTHS BASED ON PROPOSED PIPE SLOPE. PIPE LENGTHS IN PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
- THIS PROJECT DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD ZONE AS DEFINED BY THE F.E.M.A. "FLOOD HAZARD BOUNDARY MAP" COMMUNITY PANEL NUMBER 13121C0153F & 13121C0181F, DATED 09/18/2013 & 09/18/2013.
- UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.
- CONTRACTOR TO FIELD VERIFY EXISTING INVERT FOR SANITARY SEWER AND STORM DRAINAGE SERVICE CONNECTIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCY PRIOR TO PROCEEDING.
- NO GRADED SLOPE SHALL EXCEED 2H:1V
- ALL WALLS GREATER THAN 30" IN HEIGHT SHALL BE DESIGNED AND PERMITTED BY AN ENGINEER LICENSED IN THE STATE OF GEORGIA.
- ALL WALLS GREATER THAN 30" IN HEIGHT SHALL HAVE FALL PROTECTION THROUGH FENCING OR HANDRAIL AT A MINIMUM OF 42" TALL. REFERENCE LANDSCAPE PLANS FOR DETAILS.

GRADING LEGEND:

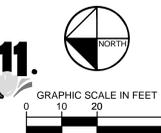
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED SPOT GRADE
- PROPOSED TOP GRADE AT WALL
- PROPOSED BOTTOM GRADE AT WALL
- PROPOSED TOP OF STAIR GRADE
- PROPOSED BOTTOM OF STAIR GRADE
- PROPOSED HIGH POINT GRADE
- PROPOSED LOW POINT GRADE
- PROPOSED TOP OF CURB GRADE
- PROPOSED BOTTOM OF CURB GRADE
- DRAINAGE FLOW ARROW

STORM DRAINAGE LEGEND:

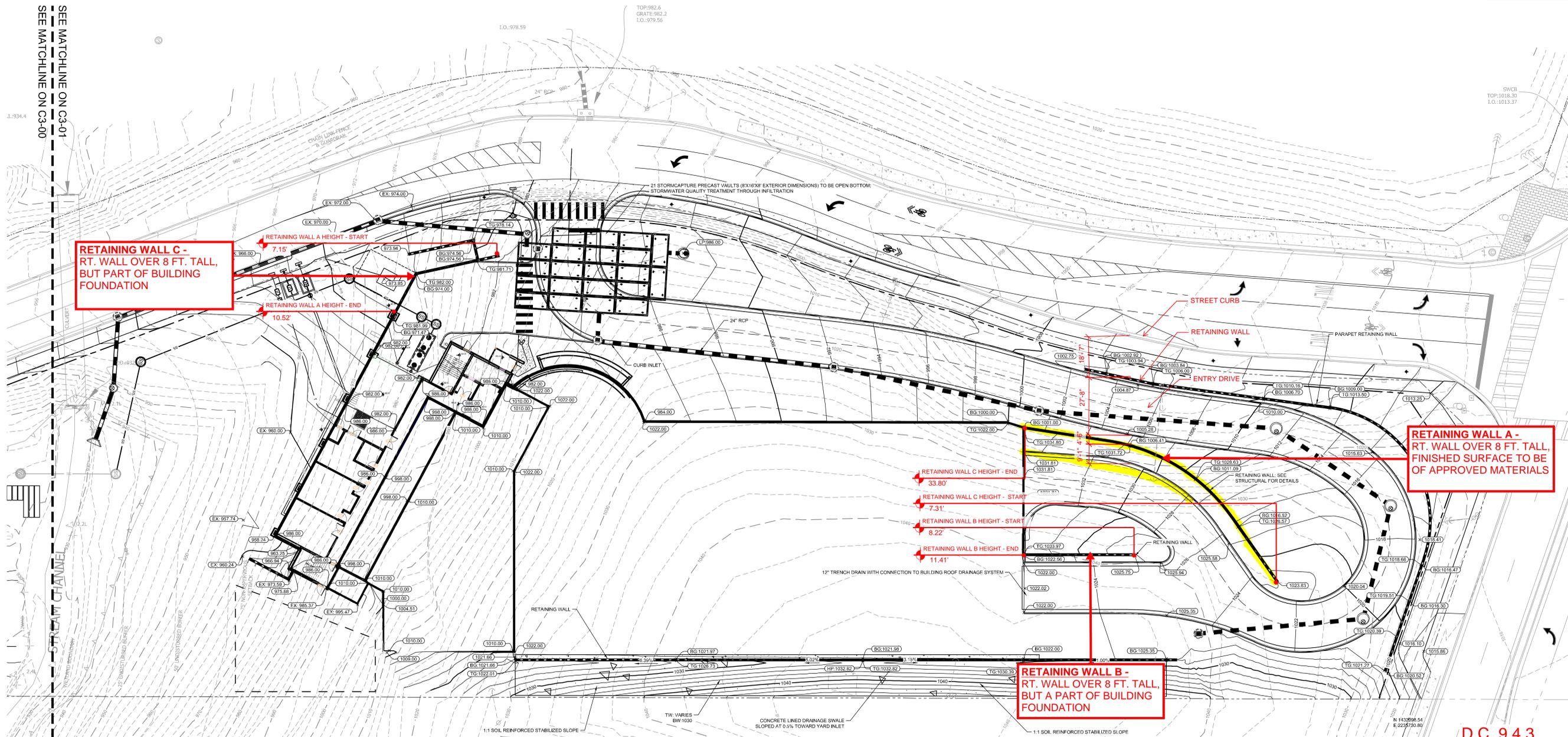
- JUNCTION BOX
- HOODED GRATE CURB INLET (GDOT 1019A, TYPE E)
- GRATE INLET (GDOT 10191A, TYPE A)
- SINGLE WING CATCH BASIN (GDOT 1033D)
- DOUBLE WING CATCH BASIN (GDOT 1034D)
- YARD DRAIN (NDS CATCH BASIN OR COMPARABLE)
- CLEAN OUT
- WATER QUALITY DEVICE (CONTECH CDS4040-8-C)
- OUTLET CONTROL STRUCTURE (CAST-IN-PLACE)
- TRENCH DRAIN
- PROPOSED ROOF DRAIN PIPE
- PROPOSED STORM PIPE

GEORGIA811

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SEE MATCHLINE ON C3-01  
SEE MATCHLINE ON C3-00



RETAINING WALL C - RT. WALL OVER 8 FT. TALL, BUT PART OF BUILDING FOUNDATION

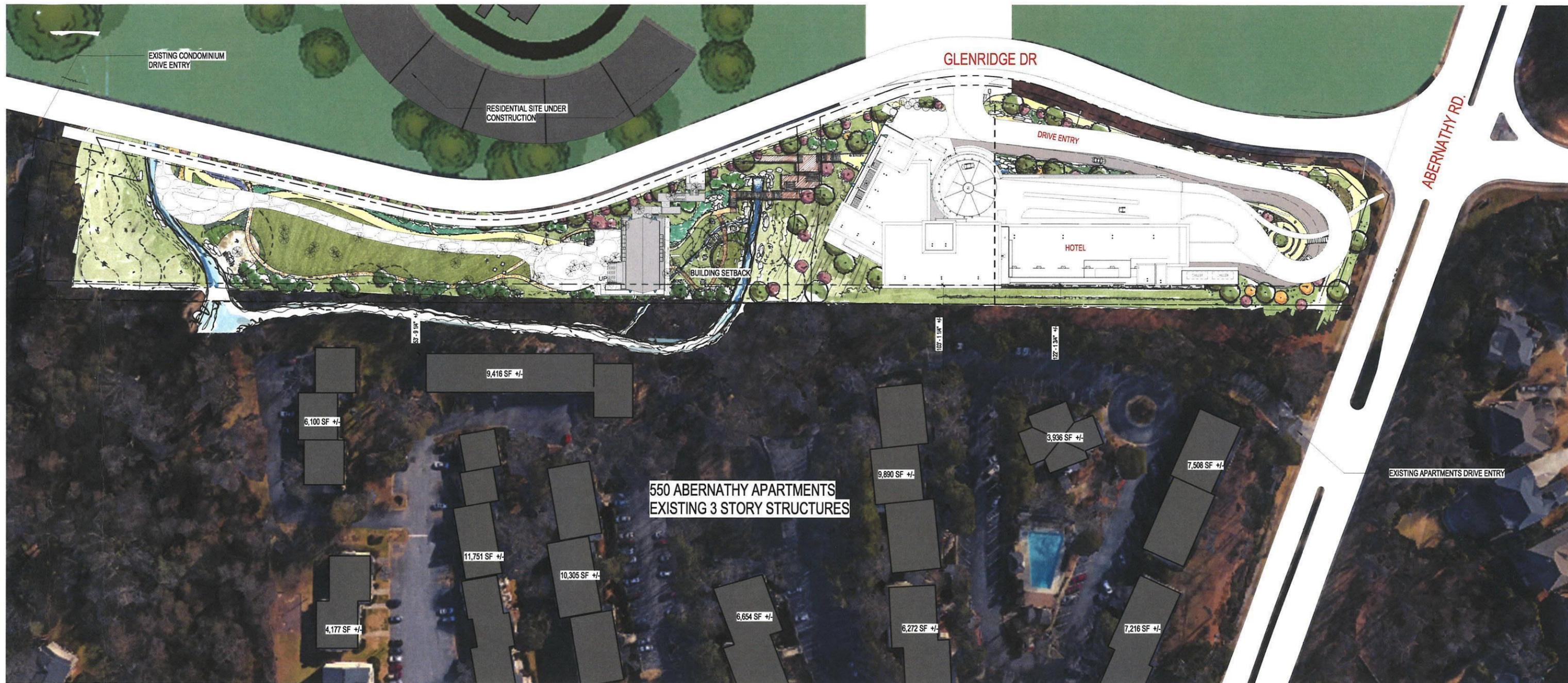
RETAINING WALL A - RT. WALL OVER 8 FT. TALL, FINISHED SURFACE TO BE OF APPROVED MATERIALS

RETAINING WALL B - RT. WALL OVER 8 FT. TALL, BUT A PART OF BUILDING FOUNDATION

D.C. 9.4.3

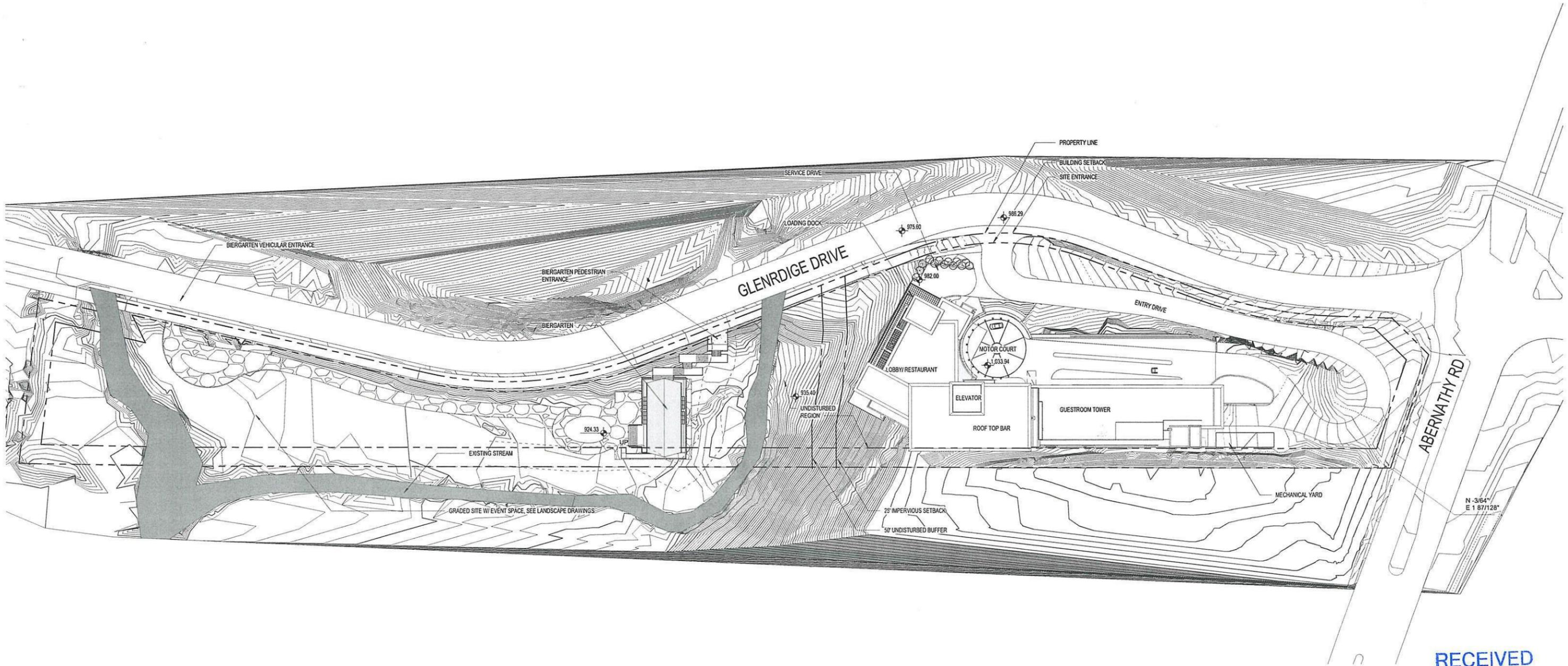
NO.	DATE	DESCRIPTION
1	07/26/2019	SCHEMATIC DESIGN
2	08/02/2019	DESIGN DEVELOPMENT

PROJECT	
DATE	07/26/2019
DESIGNED BY	TAD
REVIEWED BY	BLH
DATE	07/26/2019
PROJECT NO.	019754013
TITLE	<b>GRADING &amp; DRAINAGE PLAN</b>
SHEET NUMBER	<b>C3.00</b>



1 OVERALL MAYSON HOUSE PROJECT SITE REFERENCE PLAN  
 A1.0A SCALE: 1" = 50'-0"





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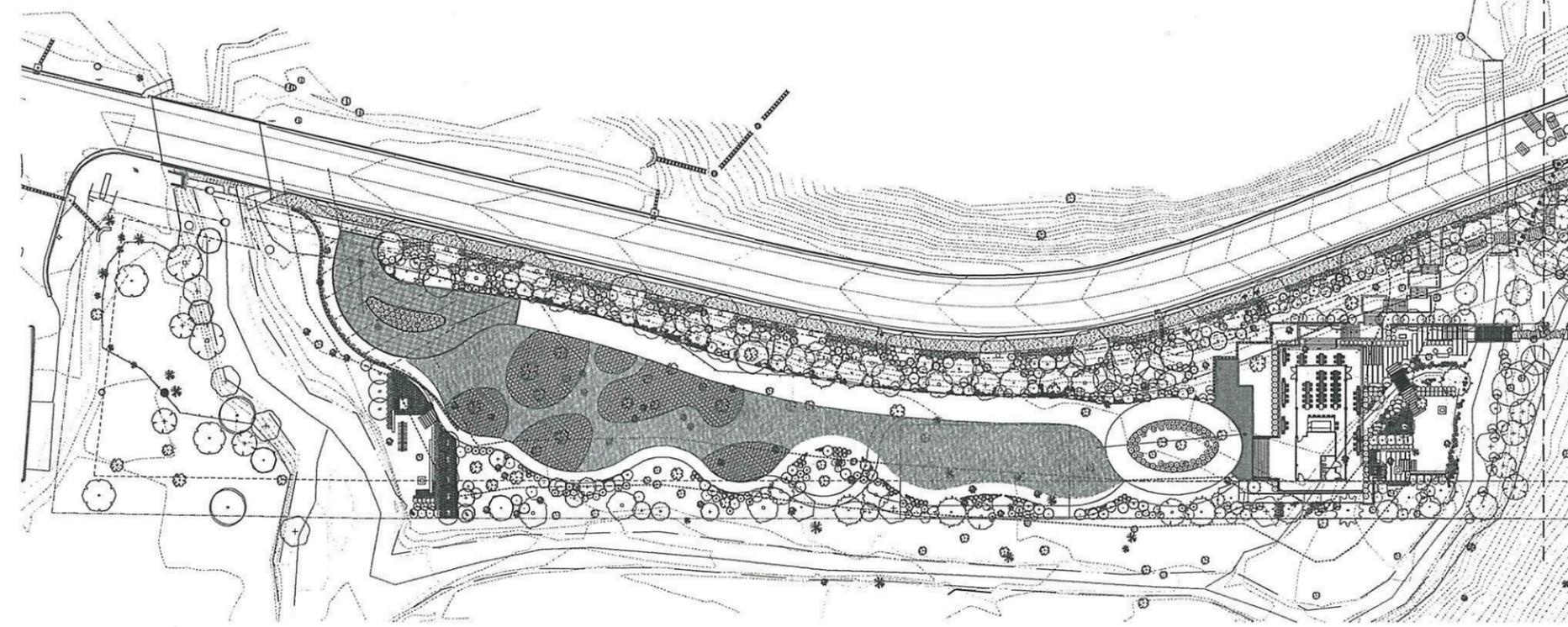
1 OVERALL SITE PLAN - ARCHITECTURAL - MAYSON HOUSE  
AA0.0A SCALE: 1" = 50'-0"

Total area of site:	5.2 acres / 227,280 SF
Building footprint: Hotel & Biergarten = (31,061SF+ 4,896SF) = 35,957 SF / 15.8%	
Impervious surface: 67,447 SF / 29.5%	
-Entry drive and motor court = 34,686 SF	
-Building foot print = 31,061 SF	
-Biergarten = 1,700 SF	
Parking: G1 level (28,184 SF) and Lobby Level (12,864 SF) = 41,048 SF / 18%	
Maximum spaces allowed = 1 per hotel quest room and 8 per 1000 SF at Restaurant - 161 spaces provided	
Loading: Required - min. 12 ft Width x 35 ft Depth - Provided - 25'-11-1/2" Width x 50'-6-1/2" Depth	
Landscape: 140,753 SF 61.9 % ( See landscape plan)	
Undisturbed Area 22,147 SF 9.7 %	
Floodplain: 67,921 SF 29.8%	

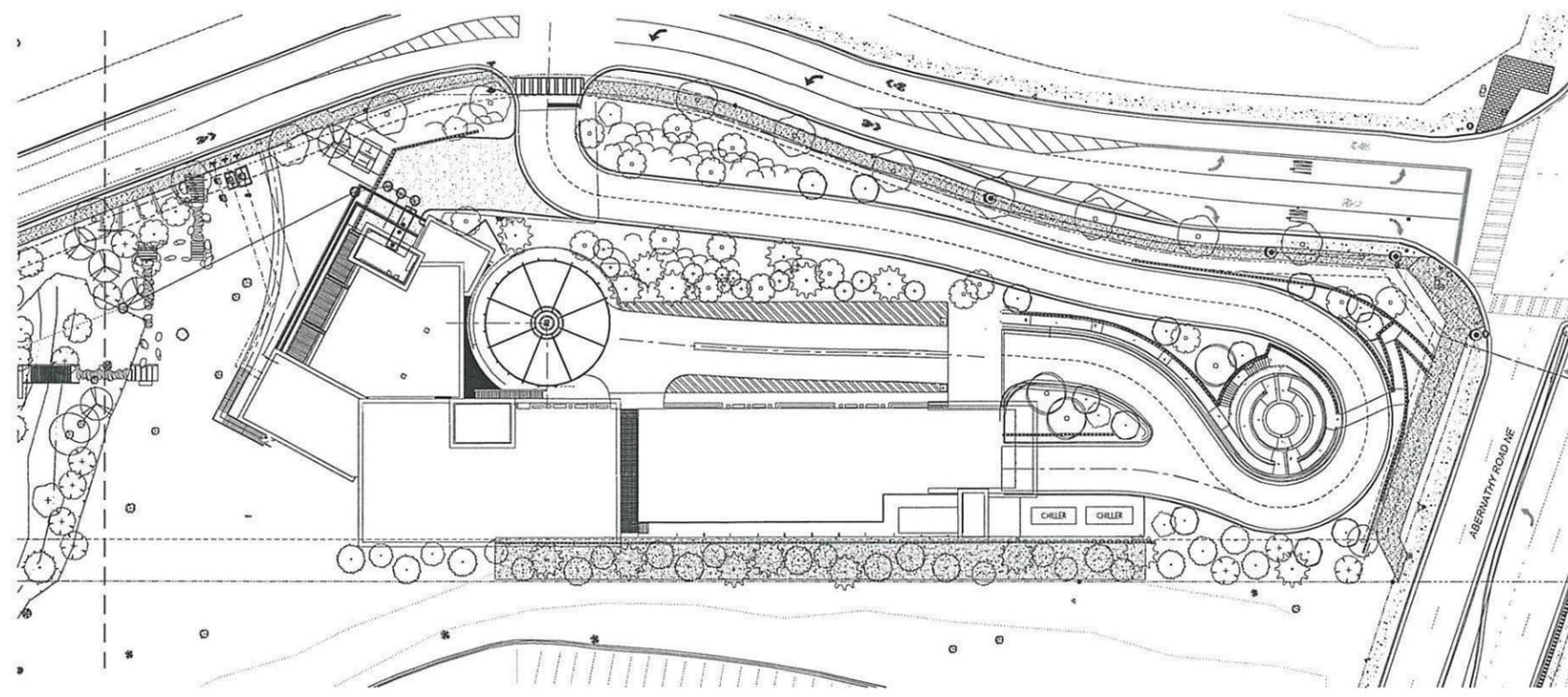
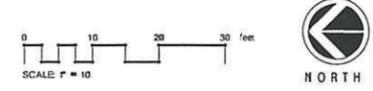
**SCOPE DOCUMENTS**

The Contract Documents issued for the Design Development are intended to be a full and complete set of documents and as such, may be referred to as the Contract Documents. The Contractor is responsible for coordination and compliance with all applicable laws, codes, ordinances, rules and regulations of the City of Sandy Springs, Georgia, and all other jurisdictions necessary for the proper execution and completion of the Work, as shown, specified, measured, estimated or required for a successful Project. For Work of a design nature, systems, assemblies, components and materials shall comply with national, state and local code requirements. The Contractor shall obtain the Owner and Architect's final approval of any deviations or substitutions from the Contract Documents.

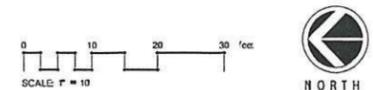
ISSUANCES		
No.	Drawings Description	Date
1	SCHEMATIC DESIGN	06/20/19
2	DESIGN DEVELOPMENT	07/26/19



1 LANDSCAPE PLAN  
L4.01



2 LANDSCAPE PLAN  
L4.01



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OCT 28 2019

City of Sandy Springs  
Community Development

MAYSON HOUSE

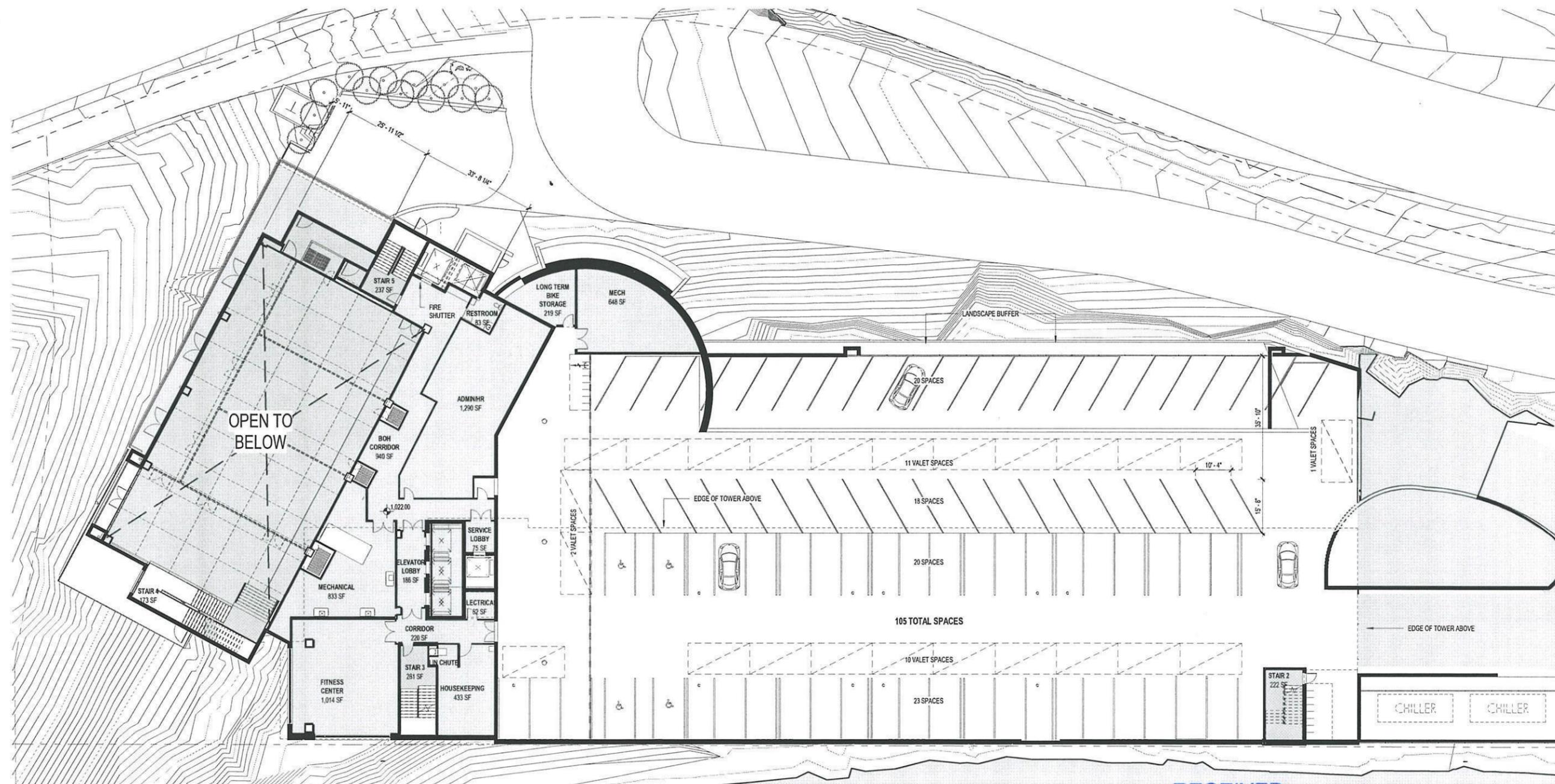
700 ABERNATHY RD NE  
SANDY SPRINGS, GA 30328  
GLENRIDGE GREEN PARTNERS, LLC

LANDSCAPE PLAN

ROBERT NEAL	20170358_04
Project Manager	07/26/19
TJB	07/26/19
Project Designer	07/26/19
CER	07/26/19
Project Engineer	07/26/19
AWH	07/26/19
Project Architect	07/26/19
K. BUJTD	07/26/19
Project Architect	07/26/19

COLOR FILL LEGEND

- CIRCULATION
- REVENUE
- TERRACE
- GUESTROOM
- BOH
- VERTICAL CIRCULATION



1 LEVEL G1 - PARKING  
A106 SCALE: 1/16" = 1'-0"

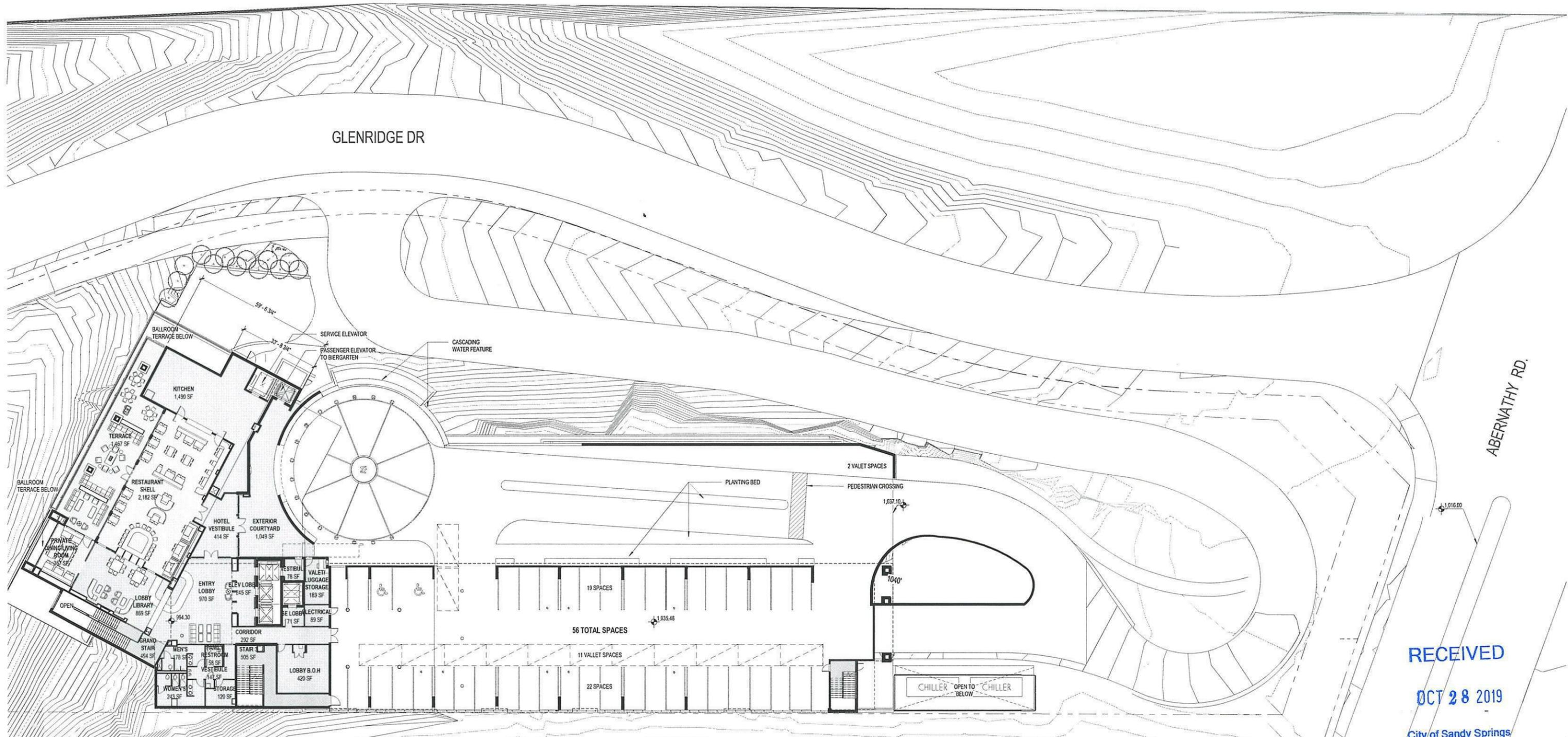
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COLOR FILL LEGEND

- CIRCULATION
- REVENUE
- TERRACE
- VERTICAL CIRCULATION
- GUESTROOM
- BOH



RECEIVED

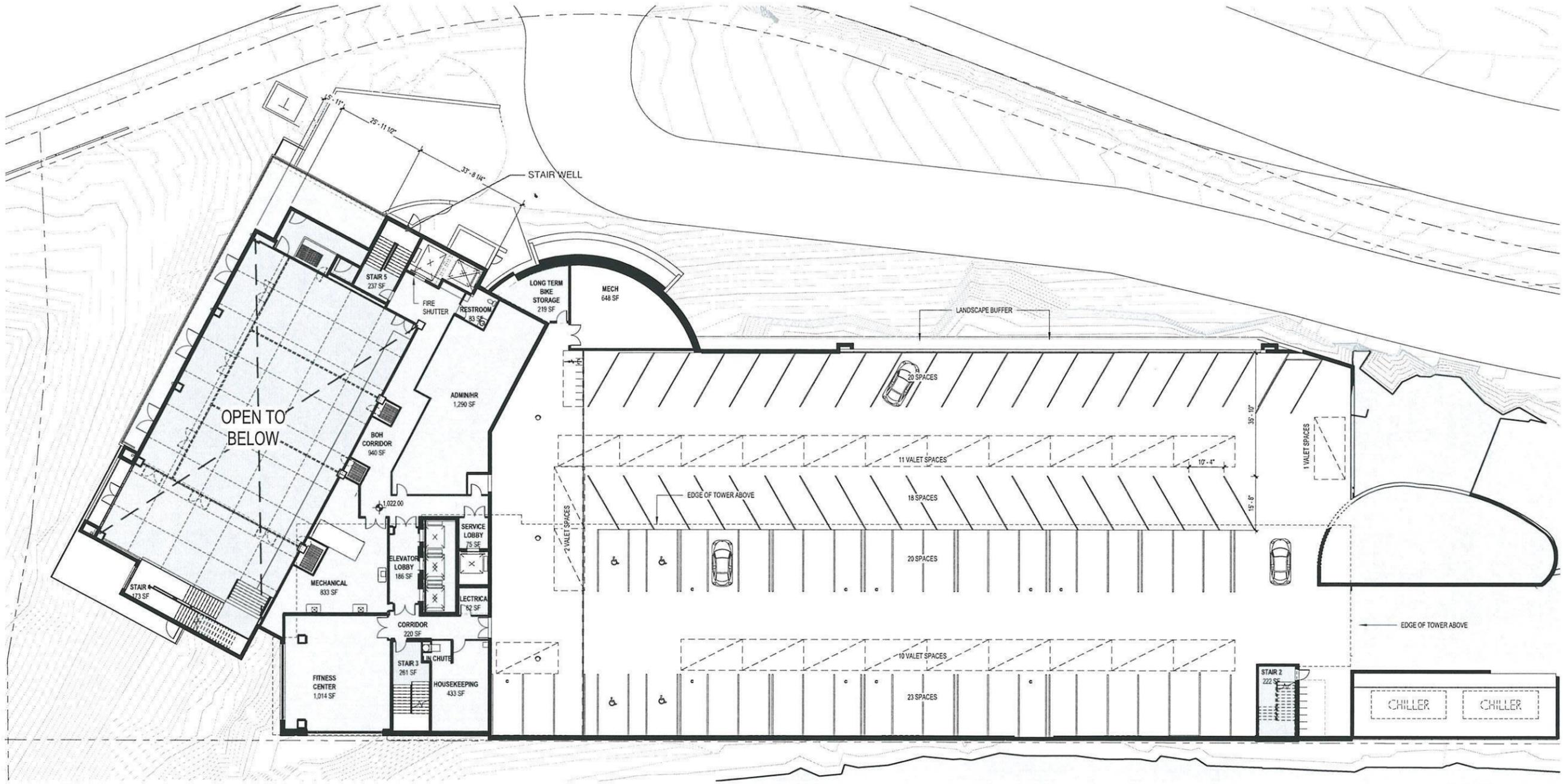
OCT 28 2019

City of Sandy Springs  
Community Development

**1** LEVEL 1 - LOBBY  
A107 SCALE: 1" = 20'-0"

COLOR FILL LEGEND

- CIRCULATION
- REVENUE
- TERRACE
- GUESTROOM
- BOH
- VERTICAL CIRCULATION



1 LEVEL G1 - PARKING  
A106 SCALE: 1/16" = 1'-0"

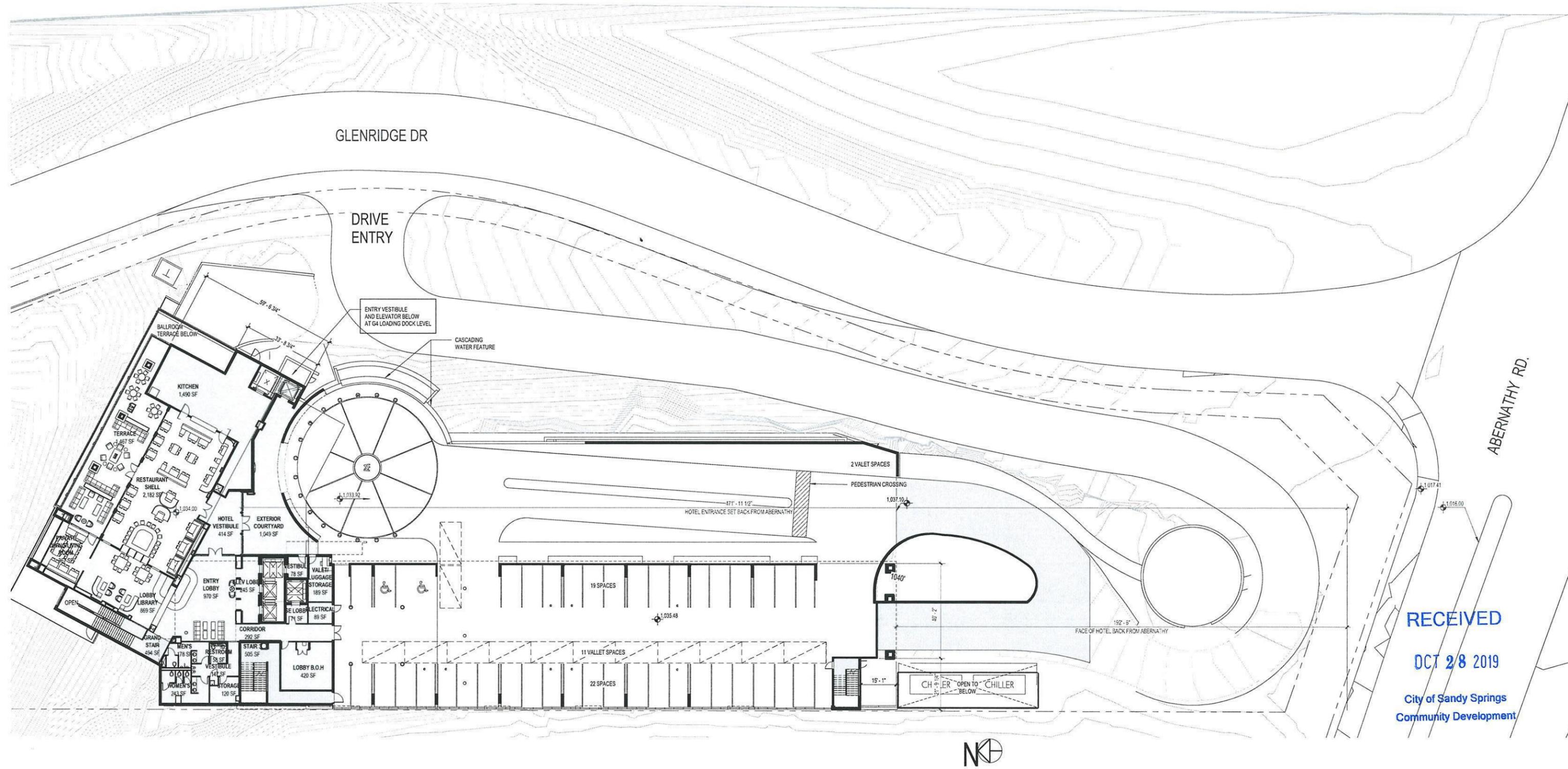
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OCT 28 2019

REFERENCE PLANS

- CIRCULATION
- REVENUE
- TERRACE
- VERTICAL CIRCULATION
- GUESTROOM
- BOH



RECEIVED

OCT 28 2019

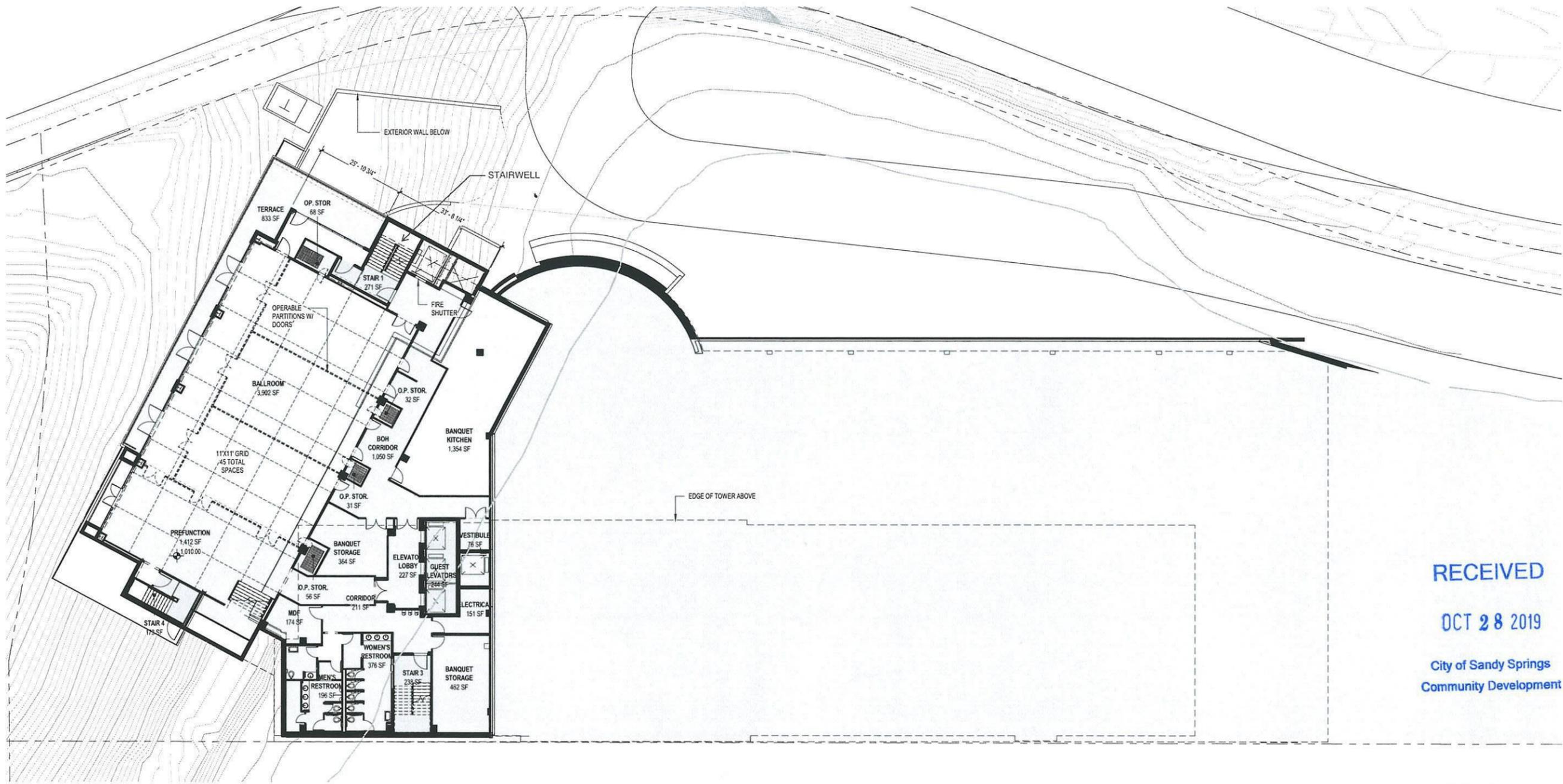
City of Sandy Springs  
Community Development

REFERENCE PLANS

1 LEVEL 1 - LOBBY -5.6.2  
AA1.0 SCALE: 1" = 20'-0"

COLOR FILL LEGEND

- CIRCULATION
- REVENUE
- TERRACE
- GUESTROOM
- BOH
- VERTICAL CIRCULATION



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 City of Sandy Springs  
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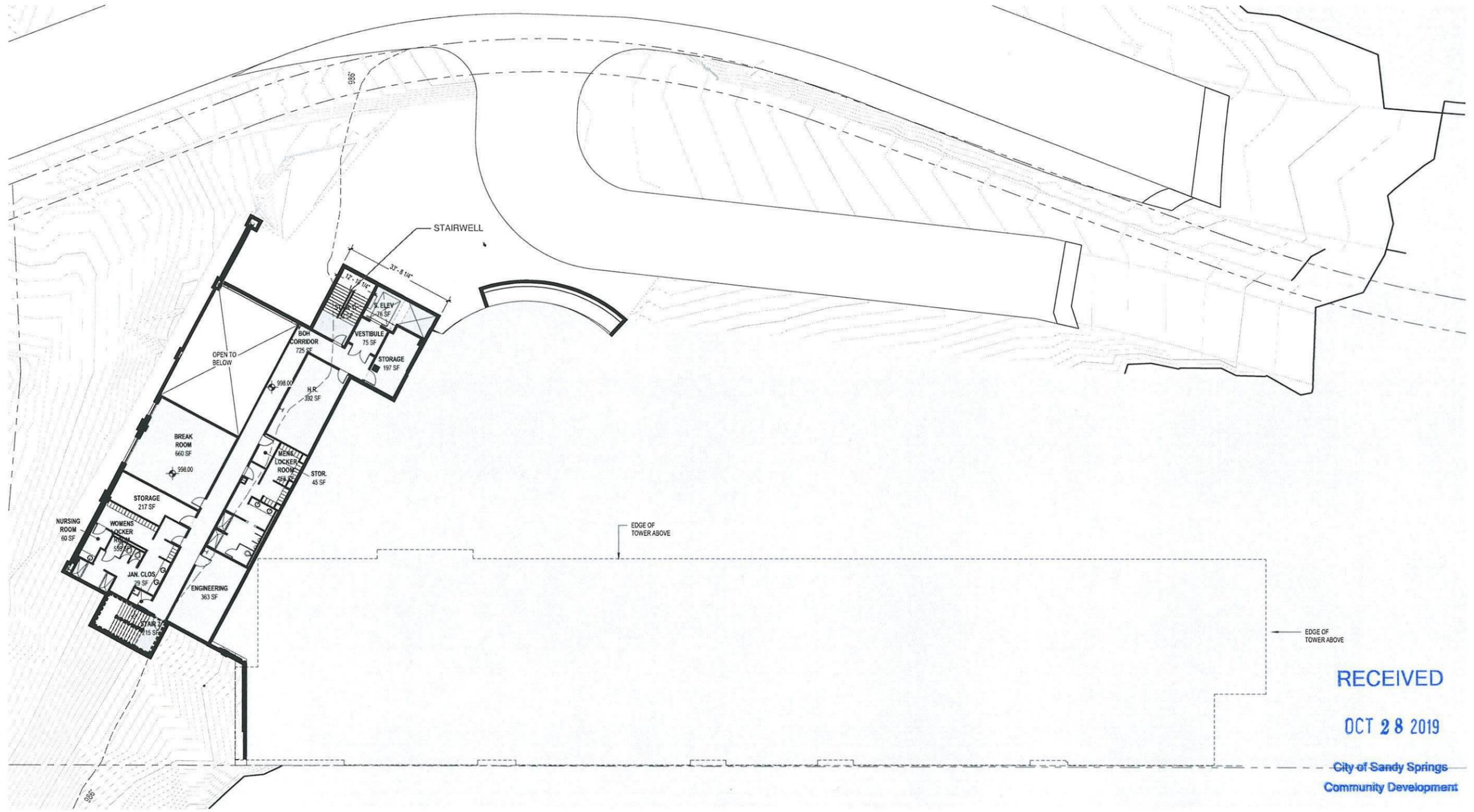
1 LEVEL G2 - MEETING  
 A105 SCALE: 1/16" = 1'-0"



REFERENCE PLANS

COLOR FILL LEGEND

- CIRCULATION
- REVENUE
- TERRACE
- VERTICAL CIRCULATION
- GUESTROOM
- BOH



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OCT 28 2019

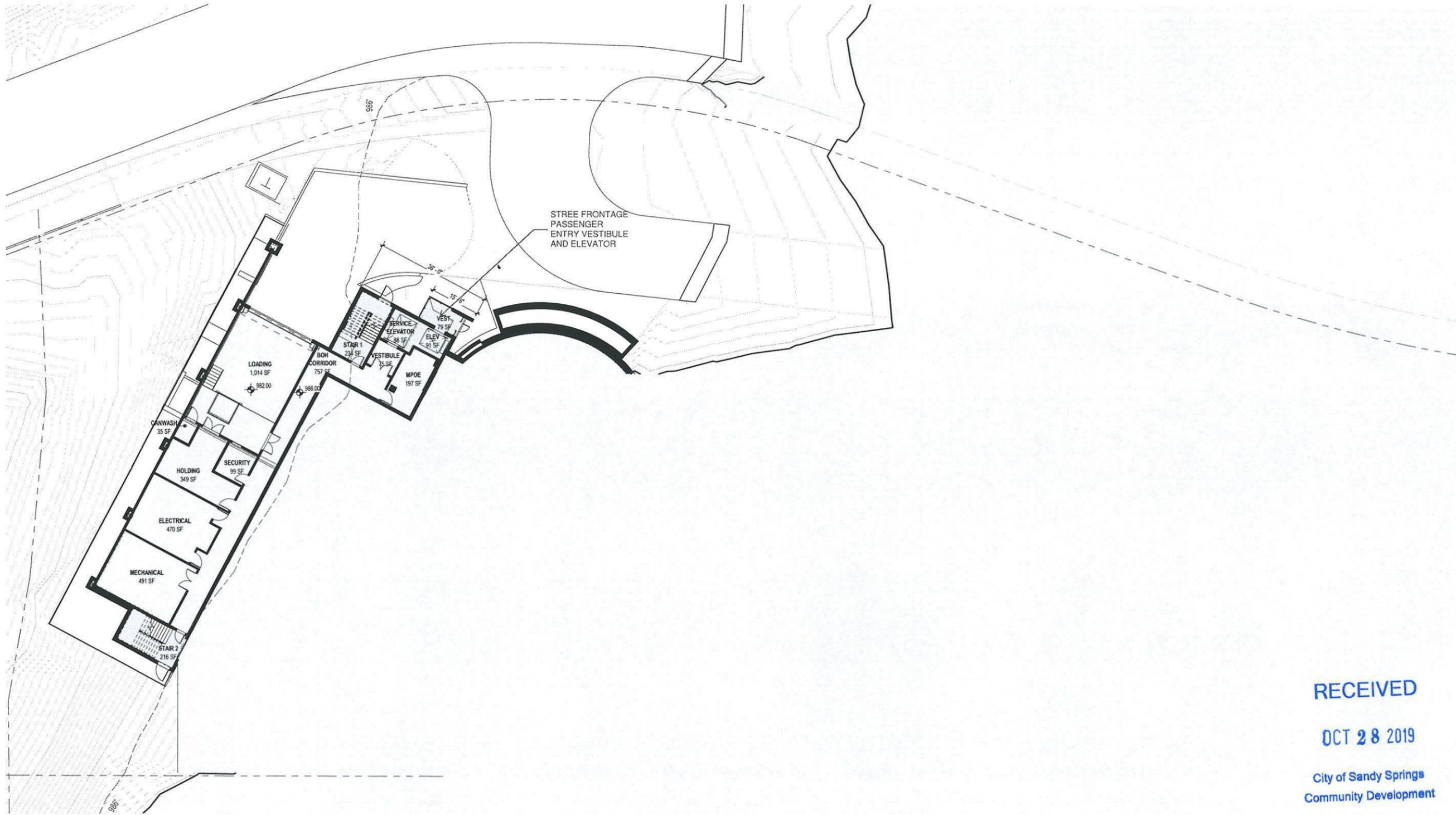
City of Sandy Springs  
Community Development

**1** LEVEL G3-SERVICE  
A104 SCALE: 1/16" = 1'-0"

REFERENCE PLANS

COLOR FILL LEGEND

- CIRCULATION
- REVENUE
- TERRACE
- VERTICAL CIRCULATION
- GUESTROOM
- BOH



RECEIVED

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City of Sandy Springs  
Community Development

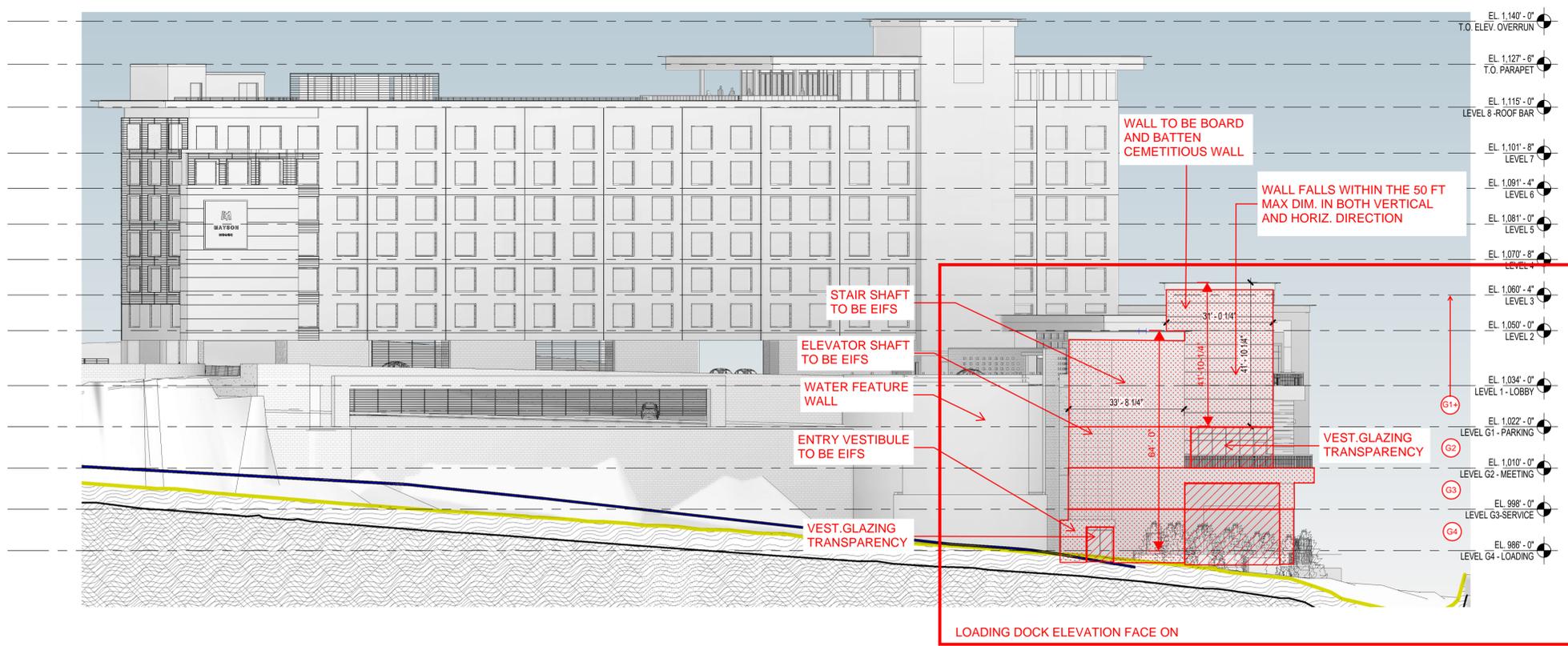
1 LEVEL G4 - LOADING  
A103 SCALE: 1/16" = 1'-0"

REFERENCE PLANS

**NOTE TO REVIEWER:**

- THE ELEVATION BELOW IS PROVIDED TO INDICATE MATERIAL/COLOR VARIATION (EIFS & CEMENTITIOUS PANEL), ARCHITECTURAL FENESTRATION (ACCENTUATED METAL PARAPET COPING, BOARD AND BATTEN, EIFS TEXTURED FINISHES), AND HORIZONTAL ARTICULATION (OVERHANG & WALL PLANE CHANGES), IN ADDITION TO GLAZING AS A WAY TO BREAK UP THE FACADE AND MINIMIZE THE BLANK WALL IMPACT AT THE LOADING DOCK

- THE LOADING DOCK FACADE, AT IT'S CLOSEST ADJACENCY, IS 45'-9" FROM THE PROPERTY LINE AND 56'-3" FROM THE STREET, SEE AA1.19B FOR DIMENSION STRING. REVIEWER TO NOTE, AT THE GLENRIDGE DR. STREET LEVEL APPROACH INTO THE DRIVE AISLE, THE STREET IS AT A 6'-0" TO 8'-0" LOWER ELEVATION THAN LEVEL G4 WHICH WILL AFFECT LINE OF SIGHT INTO THE LOADING DOCK FOR NOTES SEE AA1.19A



**TRANSPARENCY CALC.**

**G4 - (GROUND LEVEL REQUIRES 50% TRANSPARENCY)**  
 TOTAL LEVEL SQUARE FEET @ 1098 SF  
 TRANSPARENCY @ 555 SF = 50.5%

**G3 - (UPPER LEVEL REQUIRES 20% TRANSPARENCY)**  
 TOTAL LEVEL SQUARE FEET @ 815 SF  
 TRANSPARENCY @ 213 SF = 26.1%

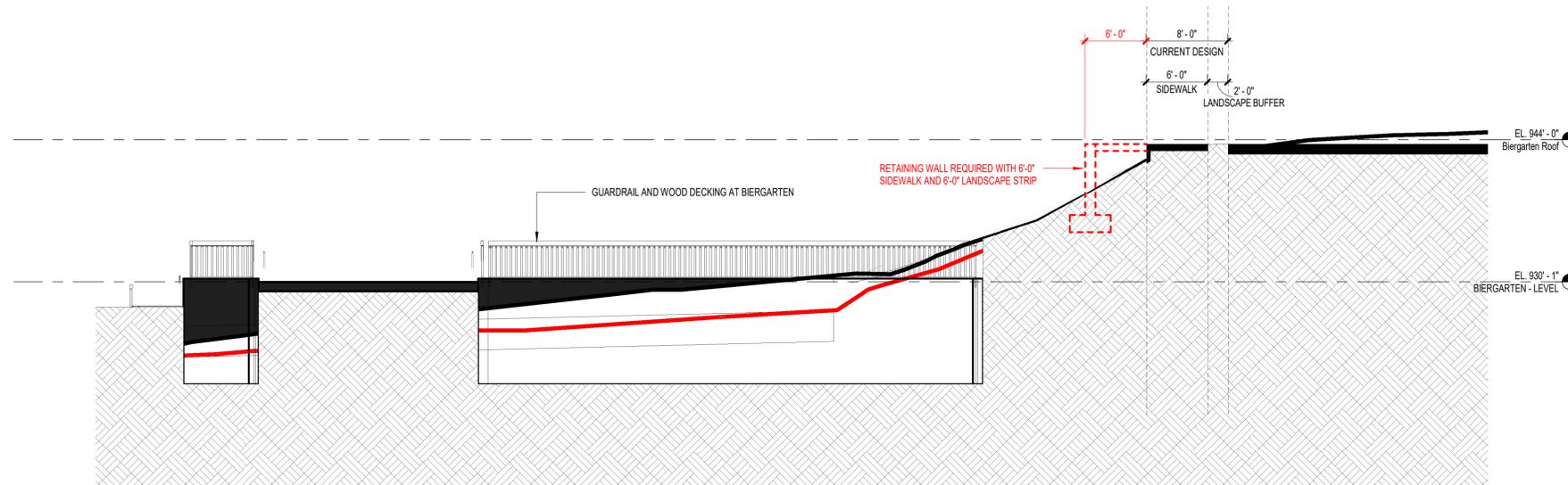
**G2 - (UPPER LEVEL REQUIRES 20% TRANSPARENCY)**  
 TOTAL LEVEL SQUARE FEET @ 713 SF  
 TRANSPARENCY @ 269 SF = 37.7%

**G1-L3 - (UPPER LEVEL REQUIRES 20% TRANSPARENCY)**  
 TOTAL LEVEL SQUARE FEET @ 1961 SF  
 TRANSPARENCY @ 0 SF = 0%

WALL  
 TRANSPARENCY

1 GLENRIDGE ELEVATION - 5.6.2  
 AA1.2B SCALE: 3/64" = 1'-0"

D.C.5.6.2



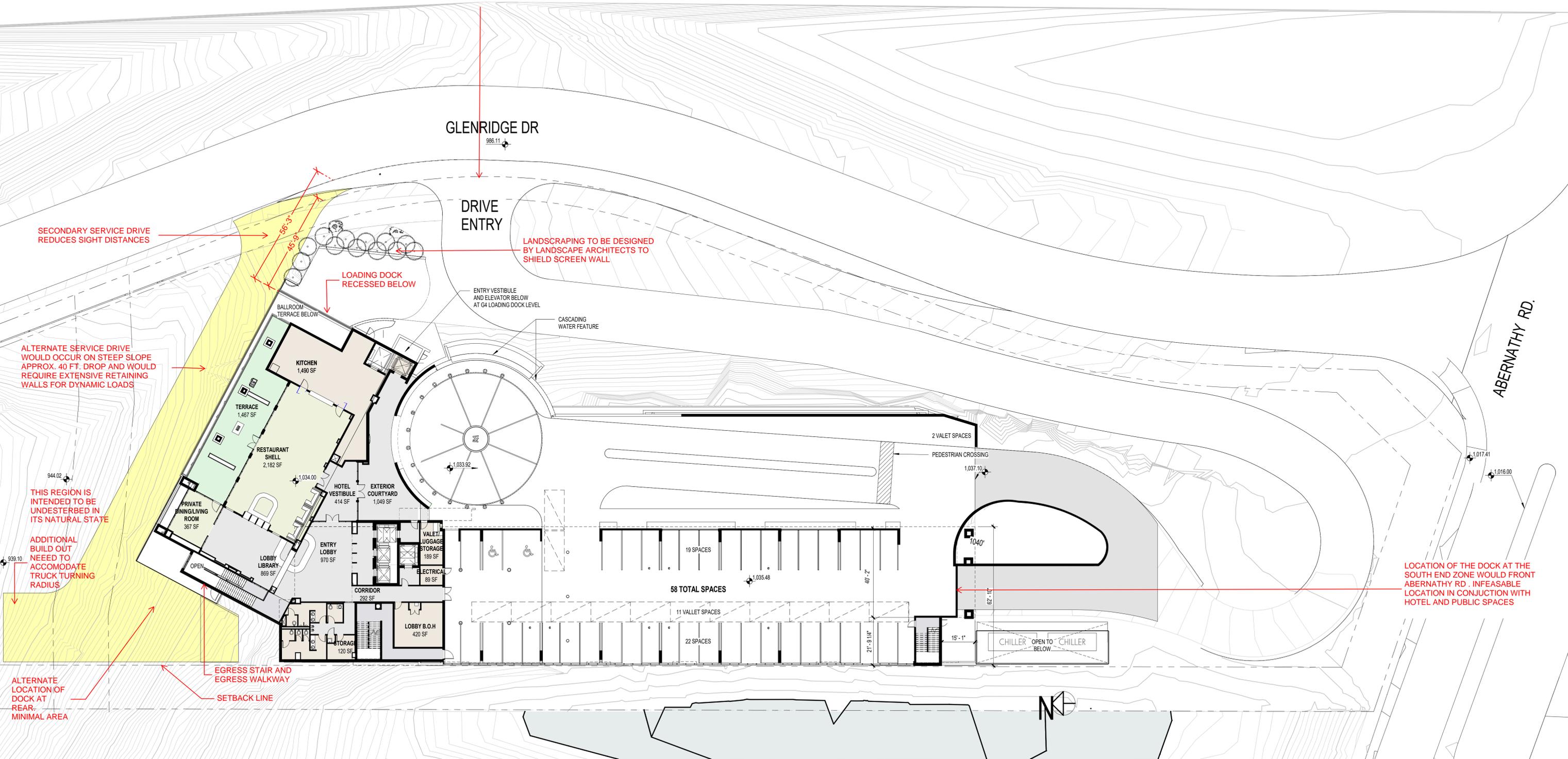
1 SECTION @ BIERGARTEN SIDEWALK AND STREET LEVEL  
AA1.15.0 SCALE: 1/8" = 1'-0"

11/06/2019

THERE IS LIMITED ACCESS TO THE SITE GIVEN THE EXTREME STEEP SLOPES.

THE LOCATION OF HOTEL VEHICULAR ENTRY AS DIRECTED BY THE CITY OF SANDY SPRINGS MAXIMIZES SITE DISTANCES AT BOTH ENTRY AND EXIT TO AND FROM SITE.

A SECONDARY SERVICE DRIVE WOULD HAVE TO BE IN CLOSE PROXIMITY TO THE MAIN ENTRANCE AND WOULD LIMIT SIGHT DISTANCES AND CREATE A SAFETY HAZARD



SECONDARY SERVICE DRIVE REDUCES SIGHT DISTANCES

ALTERNATE SERVICE DRIVE WOULD OCCUR ON STEEP SLOPE APPROX. 40 FT. DROP AND WOULD REQUIRE EXTENSIVE RETAINING WALLS FOR DYNAMIC LOADS

THIS REGION IS INTENDED TO BE UNDEVELOPED IN ITS NATURAL STATE

ADDITIONAL BUILD OUT NEEDED TO ACCOMMODATE TRUCK TURNING RADIUS

ALTERNATE LOCATION OF DOCK AT REAR MINIMAL AREA

EGRESS STAIR AND EGRESS WALKWAY

SETBACK LINE

GLENRIDGE DR

DRIVE ENTRY

LANDSCAPING TO BE DESIGNED BY LANDSCAPE ARCHITECTS TO SHIELD SCREEN WALL

LOADING DOCK RECESSED BELOW

ENTRY VESTIBULE AND ELEVATOR BELOW AT G4 LOADING DOCK LEVEL

CASCADING WATER FEATURE

KITCHEN 1,490 SF

TERRACE 1,467 SF

RESTAURANT SHELL 2,182 SF

PRIVATE DINING/LIVING ROOM 367 SF

LOBBY LIBRARY 869 SF

HOTEL VESTIBULE 414 SF

EXTERIOR COURTYARD 1,049 SF

ENTRY LOBBY 970 SF

CORRIDOR 292 SF

LOBBY B.O.H. 420 SF

STORAGE 120 SF

VALET STORAGE 189 SF

ELECTRICAL 89 SF

58 TOTAL SPACES

11 VALET SPACES

22 SPACES

19 SPACES

2 VALET SPACES

PEDESTRIAN CROSSING

CHILLER OPEN TO CHILLER BELOW

ABERNATHY RD.

LOCATION OF THE DOCK AT THE SOUTH END ZONE WOULD FRONT ABERNATHY RD. INFEASIBLE LOCATION IN CONJUNCTION WITH HOTEL AND PUBLIC SPACES

1 LEVEL 1 - LOBBY - D.C. - 8.1.10.C.3  
AA1.19A SCALE: 3/64" = 1'-0"

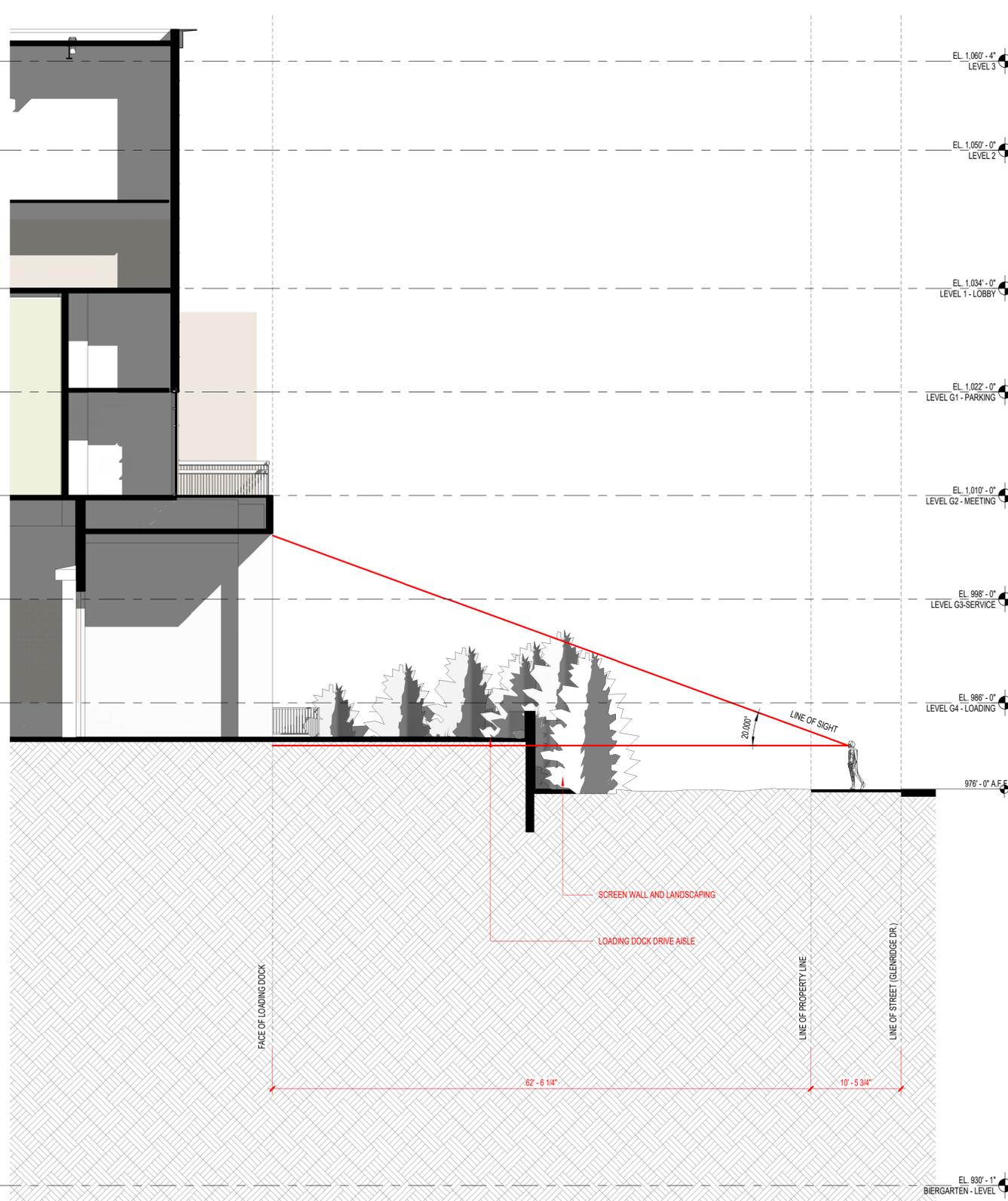
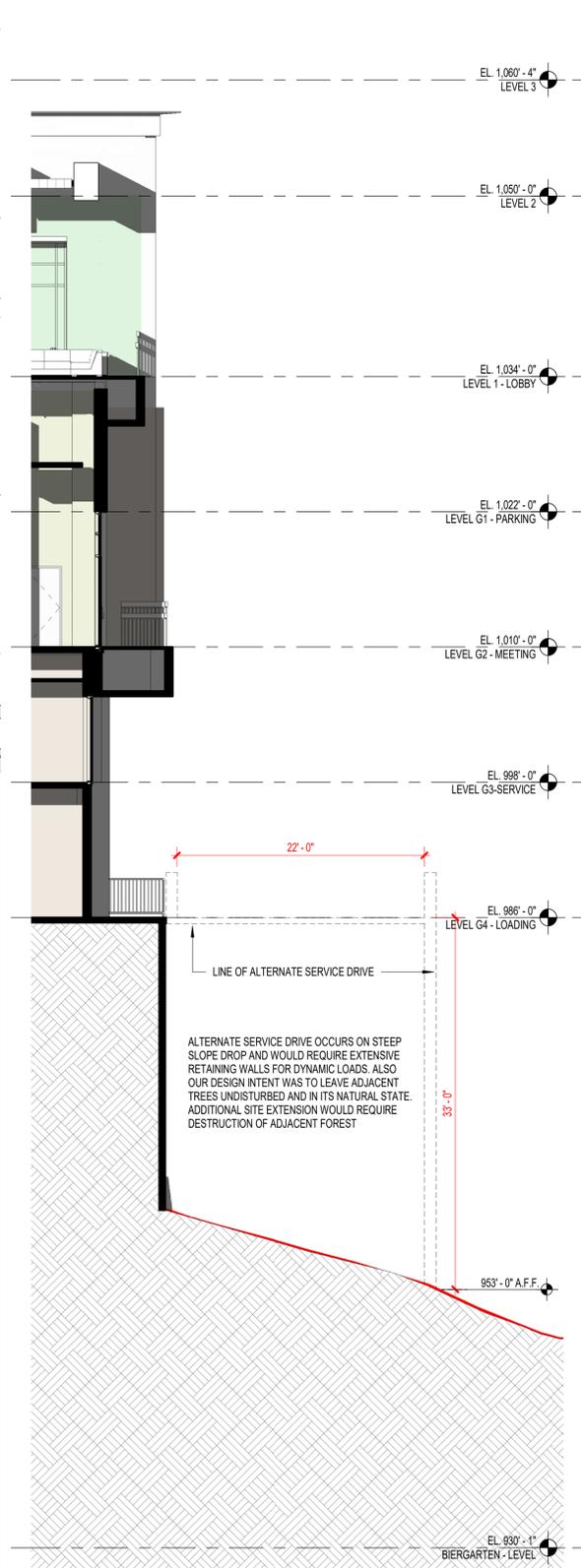
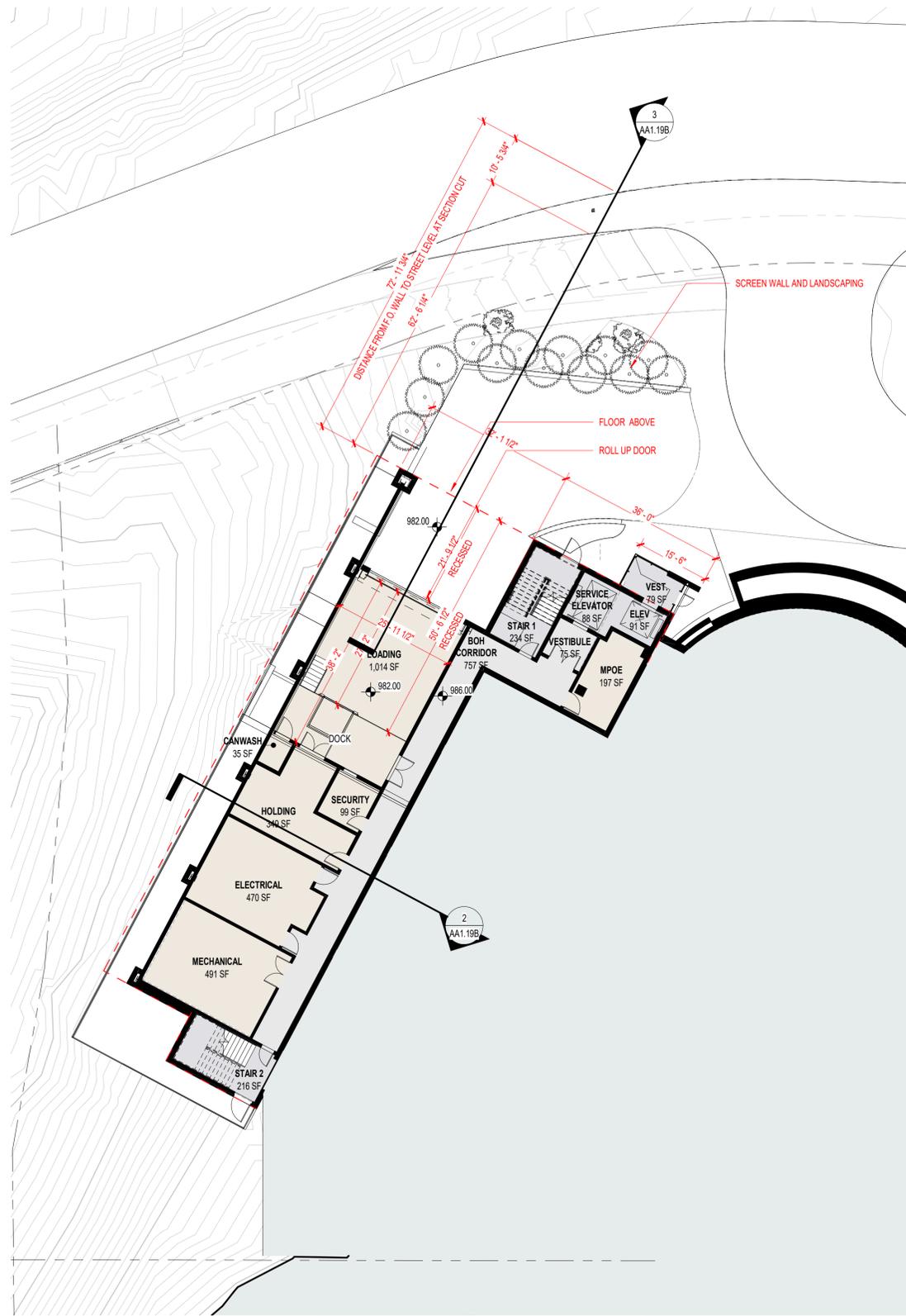
D.C. - 8.1.10.C.3

PROJECT #20170358.10 10/22/19

LOADING DOCK - D.C. 8.1.10.C.3 AA1.19A

MAYSON HOUSE  
ABERNATHY RD NE





1 LEVEL G4 - LOADING DOCK REFERENCE PLAN - D.C. 8.1.10.C.3  
 AA1.19B SCALE: 1/16" = 1'-0"

2 SECTION AT ALT. SERVICE DRIVE AISE - D.C. 8.1.10.C.3  
 AA1.19B SCALE: 1/8" = 1'-0"

3 SECTION AT LOADING DOCK STREET LEVEL (GLENRIDGE DRIVE APPROACH) D.C. 8.1.10.C.3  
 AA1.19B SCALE: 1/8" = 1'-0"

D.C. - 8.1.10.C.3